



CHARLES M. ARLINGHAUS
Commissioner

STATE of NEW HAMPSHIRE
DEPARTMENT of ADMINISTRATIVE SERVICES
DIVISION of PUBLIC WORKS - DESIGN & CONSTRUCTION
POB 483, 7 Hazen Drive – Room 250
Concord, New Hampshire 03302-0483
Phone 603-271-3516, Fax 603-271-3515



DOCUMENT 00914

ADDENDUM NUMBER 04

TO: ALL CONTRACT BIDDERS OF RECORD

This Addendum forms a part of the Contract Documents and modifies the Bidding Documents dated March 21, 2024, Addendum Number 1 issued 4/11/2024, Addendum Number 2 issued 4/17/2024, and Addendum 3 issued 4/23/2024 with amendments and additions noted below. Acknowledge receipt of this Addendum in the space provided in the Proposal Form. Failure to do so may disqualify the Bidder.

This Addendum consists of five pages (5) and the following Drawings and Documents:

No.	Drawing or Document Title	Issue Date
C1.02	Existing Underground Utility Plan	4/24/24
SK-OHP	Overhead Power Offset	4/29/24
C2.01	Proposed Site Plan	4/26/24
T1.04	Traffic Control Capitol Street	4/26/24
SK-003	Diaphragm Reinforcement	4/26/24
SK-004	Second Floor Diaphragm Reinforcement Plan	4/26/24
SK-005	Third Floor Diaphragm Reinforcement Plan	4/26/24
SK-006	Fourth Floor Diaphragm Reinforcement Plan	4/26/24
8448M	Report of Loss on Ignition Ash and Organic Content	4/25/24

BIDDER'S QUESTIONS

1. Q: Please confirm Sewer Rim, inverts, and lateral elevations for cut and cap purposes on Green St, School St, and North State St.
A. Please refer to C1.02 attached to this Addendum.
2. Q: Please Confirm water lateral elevations on School St, and Green St for cut and cap purposes.
A. Please refer to C1.02 attached to this Addendum.
3. Q: Please confirm drainage rim, invert, and lateral elevations for cut and cap purposes on School St, and North State St.
A. Please refer to C1.02 attached to this Addendum.
4. Q: Security grates at first level, and at ramp openings: 1/A7.7 calls for 1/2x1/2 pickets yet A6.0 and the finals call for 3/4x3/4 pickets.
A. Pickets need to be sized to fit the finials. Either 3/4" balusters for a 3/4" finial or 1/2" balusters for 1/2" finials are acceptable. The grates are a delegated design item so overall structural

compliance with required lateral codes is up to the engineer of record. Other 1/2" options for finials are available and acceptable. Three acceptable 1/2" finial options include the following:

1. Steel Supply, L.P. Finial model 8604; 1/2" Cast Iron Finial;
<https://www.steelssupplylp.com/sku/116858>
2. Steel Supply, L.P. Finial model 9-A; 1/2" Cast Iron Spear;
<https://www.steelssupplylp.com/sku/100571>
3. Steel Supply, L.P. Finial model 9-X; 1/2" Cast Iron Spear;
<https://www.steelssupplylp.com/sku/103932>

5. Q: Security grates at first level, and at ramp openings: 1/A7.7 calls for painted but the spec 057311-4;2.07 calls for powder coating.

A. Field painted grates are acceptable

6. Q: Please confirm if security grates bars are to be solid, or if they can be tube steel, since this is "Delegated Design".

A. Tube steel is acceptable as long as the delegated design work confirms they can withstand code-required railing loads

7. Q: Please confirm if the metal guardrails and handrails at (3) stair towers are to be powder coated or field painted.

A. Handrails at all three stair towers can be field painted or powder coated at contractor's choice

8. Q: In Addendum #3 it was noted that OSHA requires 10' clearance from a protected power line. This works for precast erecting, but installing the GFRC's and lighting will encroach on the 10' clearance. Please advise how we to install GFRC's and Lighting and still be OSHA compliant. (This question is related to Addendum #3 Question 10)

A. Please refer to SK-OHP for surveyed power line locations and distance to building along School Street and Green Street. The closest line is predominantly 15'-20' from the building giving enough room to comply with the OSHA safety requirement. The smallest distance is 11'-9.25" at the NW corner. The GFRC entablature projects 1'-8" from the building. For bidding purposes include installation of all GFRC entablature pieces based on the presumed ability to comply with OSHA by installing shorter sections at a time if necessary.

9. Q: See below RFI#05. I just noticed a requirement in the specification that all ground improvement bidders shall be approved by SW Cole two weeks prior to bid opening. Is there some flexibility here? I am not positive all of the ground improvement bidders I contacted are adhering to that requirement now, however they will be quoting per the scope requirements per specs and provided Geotech Report.

A. Please see Addendum #3 Question 18 for information answering this question.

10. Q: Specification 071113 calls out the elevator pit to receive asphalt dampproofing. This product is for exterior application only. Is this the desired product or should a cementitious coating be applied?

A. It is unclear if the question assumes the dampproofing was intended for the inside of the pit or the ground-side of the pit wall ("exterior"). The design intent was for this product to be applied to the ground-side of the elevator pit to protect the interior side of the elevator pit from seepage. No cementitious coating is required on the inside of the elevator pit. Assume for bidding that the dampproofing is installed on the ground-side of the pit foundation wall.

11. Q: With the bid date extended by two weeks, will the completion date be extended as well?
A. No.
12. Q: There is no filter fabric called out at the stone underneath the footings in the Geotech report. Should this be included?
A. There is no filter fabric under the foundation.
13. Q: Confirming that we are not responsible for access control. Electrical drawings indicate we are to provide conduits/raceways/boxes for owner furnished and installed systems. However, door hardware spec 08 7100 Paragraph 2.15 lists the BOD Card Readers.
A. The access control card readers shall be provided by the general contractor as indicated in the door hardware specification. This includes the overhead door card readers as well as all other person-door card readers.
14. Q: Please provide the organic content of soil sample B-107 Sample 3 (5-7') via loss-of-ignition (LOI) laboratory testing
A. Refer to the Report of Loss on Ignition Ash and Organic Content from SW Cole included in this Addendum. This will also be included in the final report after the DOJ borings are completed.
15. Q: There are 28 parking spots on the traffic control plans that are noted to be closed off for construction. Is the GC expected to pay for closure of those spots? If so, what is the rate per spot?
A. The GC is responsible for costs for parking space closure. Bidders need to contact the City to find out what the costs are.
16. Q: In Addendum #3, it was noted that the precaster is responsible for the final design. If the final precast design modifies the foundations, will the costs be covered via contact change order?
A. The foundation was engineered to work with the loads anticipated by the precast concrete structure. Convention for precast concrete structures included delegated design engineering by the precast manufacturer. The precast concrete panel engineer will work with the expected foundation design to the greatest extent possible. As a matter of due diligence all efforts will be made to engineer the precast concrete in a manner that works with the CIP foundation design. Any changes by the contractor are subject to Owner review prior to approval, including cost implications.
17. Q: Per Geotech report all fill excavated will be “fill material with urban debris”. Do we need to figure this is contaminated material?
A. The owner is getting the soils tested for contaminated material and results will be published in final Addendum.

CLARIFICATIONS

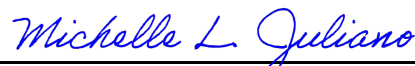
18. Addendum 3 item 38 indicated that Capitol Street can be closed temporarily during erection. This Addendum includes changes to this response. See item 21 for more information.

CHANGES TO THE SPECIFICATIONS

None included in this Addendum.

CHANGES TO THE DRAWINGS

19. C1.02 Existing Underground Utility Plan
 - A. Replace drawing updated in Addendum 1 with version re-issued in this Addendum. Scope changes include demolition of two existing catch basins and RIM/Invert elevations of existing piping and structures.
20. C2.01 Proposed Site Plan
 - A. Replace the drawing updated in Addendum 1 with the version re-issued in this Addendum; The purpose of this re-issue is to keep selected existing sidewalks and adjacent curbs along School Street and Green Street. This drawing indicates the sidewalk areas that are to be left in place and protected.
21. T1.04 Traffic Control Capitol Street
 - A. Replace the drawing issued with the bid set with the version included in this Addendum. The revision clarifies the scope of closing Capitol Street to thru-traffic while leaving it open for legislators who park in the Legislative Office Building garage. **The north lane of Capitol Street must remain open during the course of the project.** The south lane and parking spaces may be closed during the project and used for laydown/crane parking.
22. SK-003, SK-004, SK-005, SK-006 (as titled in the table at the beginning of this addendum).
 - A. Add SK-003, SK-004, SK-005, and SK-006 to the structural drawings.
 1. In further response to Addendum 3 Question #6, these sketches are being added to the drawing set. They provide supplemental information about changing the precast washes to cast in place washes to better comply with Seismic Design Category C requirements. These sketches provide drawings and details showing the extent of cast in place washes and diaphragm steel.
23. A4.3, A4.9, A4.11, A4.12: Various Exterior Elevations, Details, and Panel Type Diagrams:
 - A. To coordinate the height of the CIP floor washes described in Addendum 4 item 22, raise the height of level 2 and level 3 window sills a corresponding 2” to preserve a 2’9” sill height above the raised floor level at the perimeter of the parking deck where cast-in-place construction is being added.



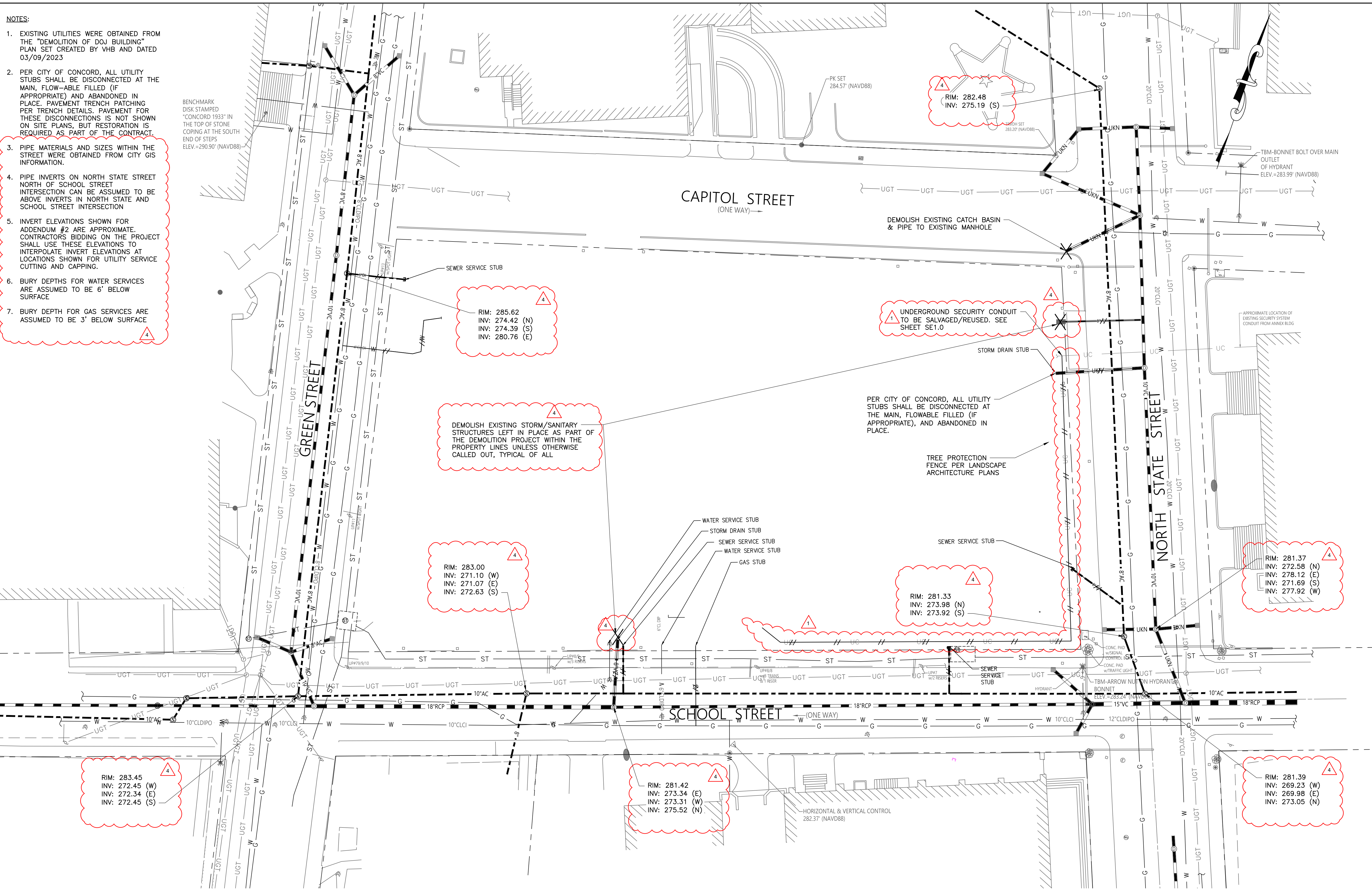
Michelle L. Juliano, P.E., Deputy Director
Division of Public Works - Design and
Construction

END OF DOCUMENT

NOTES:

- EXISTING UTILITIES WERE OBTAINED FROM THE "DEMOLITION OF DOJ BUILDING" PLAN SET CREATED BY VHB AND DATED 03/09/2023
- PER CITY OF CONCORD, ALL UTILITY STUBS SHALL BE DISCONNECTED AT THE MAIN, FLOW-ABLE FILLED (IF APPROPRIATE) AND ABANDONED IN PLACE. PAVEMENT TRENCH PATCHING PER TRENCH DETAILS. PAVEMENT FOR THESE DISCONNECTIONS IS NOT SHOWN ON SITE PLANS, BUT RESTORATION IS REQUIRED AS PART OF THE CONTRACT.
- PIPE MATERIALS AND SIZES WITHIN THE STREET WERE OBTAINED FROM CITY GIS INFORMATION.
- PIPE INVERTS ON NORTH STATE STREET NORTH OF SCHOOL STREET INTERSECTION CAN BE ASSUMED TO BE ABOVE INVERTS IN NORTH STATE AND SCHOOL STREET INTERSECTION
- INVERT ELEVATIONS SHOWN FOR ADDENDUM #2 ARE APPROXIMATE. CONTRACTORS BIDDING ON THE PROJECT SHALL USE THESE ELEVATIONS TO INTERPOLATE INVERT ELEVATIONS AT LOCATIONS SHOWN FOR UTILITY SERVICE CUTTING AND CAPPING.
- BURY DEPTHS FOR WATER SERVICES ARE ASSUMED TO BE 6' BELOW SURFACE
- BURY DEPTH FOR GAS SERVICES ARE ASSUMED TO BE 3' BELOW SURFACE

BENCHMARK
DISK STAMPED
"CONCORD 1933" IN
THE TOP OF STONE
COPING AT THE SOUTH
END OF STEPS
ELEV.=290.90' (NAVD88)



RIM: 285.62
INV: 274.42 (N)
INV: 274.39 (S)
INV: 280.76 (E)

UNDERGROUND SECURITY CONDUIT
TO BE SALVAGED/REUSED. SEE
SHEET SE1.0

DEMOLISH EXISTING STORM/SANITARY
STRUCTURES LEFT IN PLACE AS PART OF
THE DEMOLITION PROJECT WITHIN THE
PROPERTY LINES UNLESS OTHERWISE
CALLED OUT, TYPICAL OF ALL

PER CITY OF CONCORD, ALL UTILITY
STUBS SHALL BE DISCONNECTED AT
THE MAIN, FLOWABLE FILLED (IF
APPROPRIATE), AND ABANDONED IN
PLACE.

RIM: 283.00
INV: 271.10 (W)
INV: 271.07 (E)
INV: 272.63 (S)

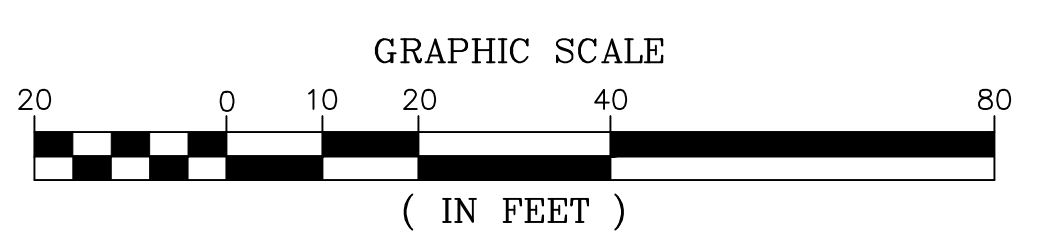
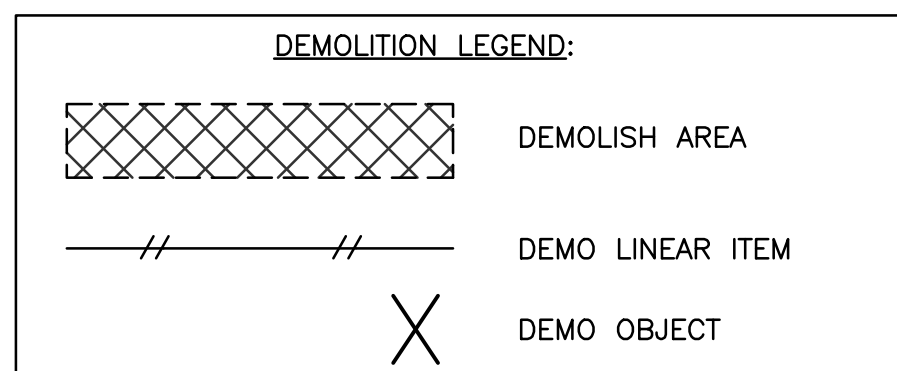
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INV: 273.92 (S)

RIM: 281.37
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INV: 271.69 (S)
INV: 277.92 (W)

RIM: 283.45
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INV: 272.45 (S)

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INV: 273.34 (E)
INV: 273.31 (W)
INV: 275.52 (N)

RIM: 281.39
INV: 269.23 (W)
INV: 269.98 (E)
INV: 273.05 (N)



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3/8/2024

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Project name: New Legislative Parking Garage
State Project Number: 81284-B
Project Address: 33 CAPITOL STREET
CONCORD, NH 03301

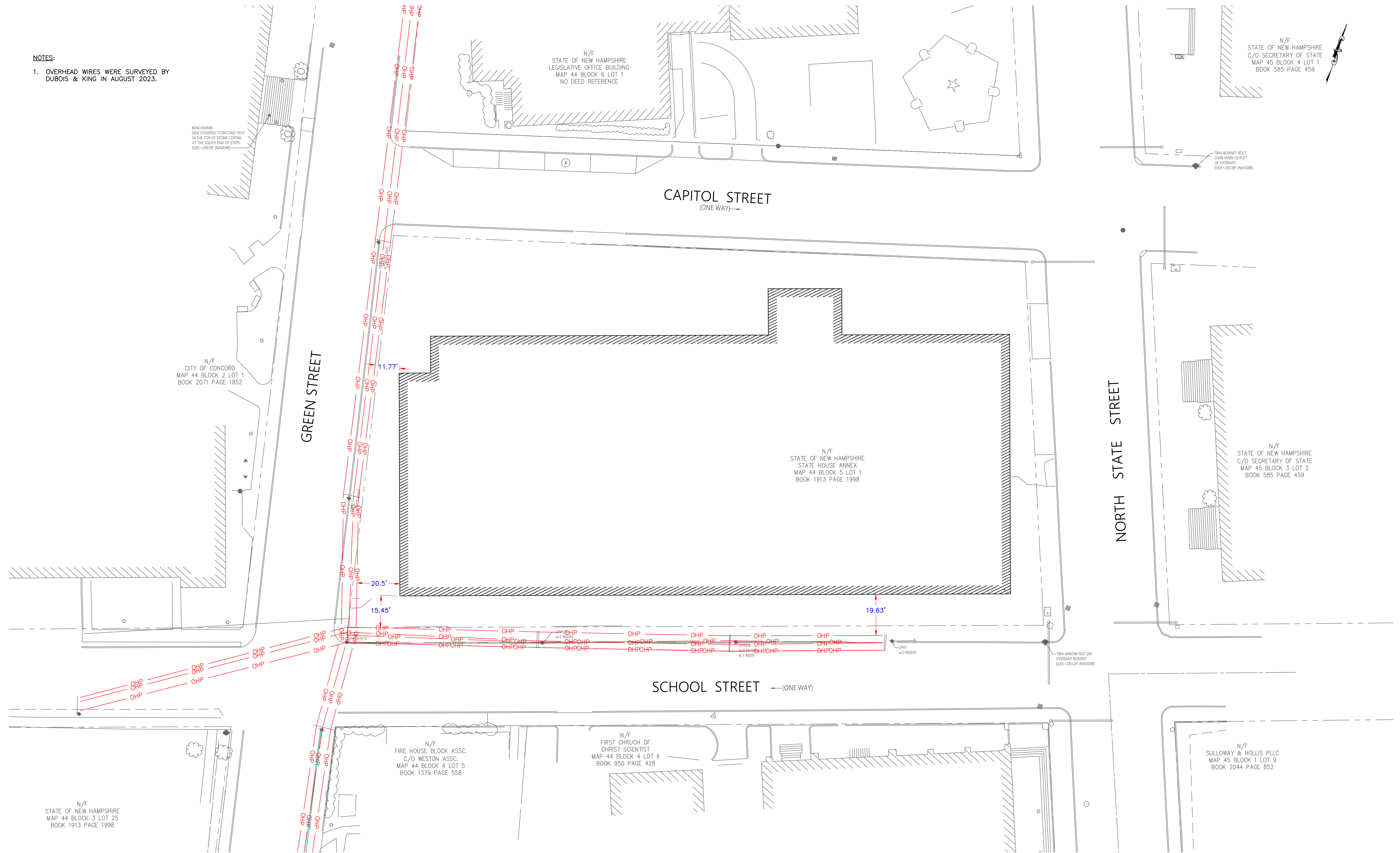
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checked by: LDC
drawn by: MAM
proj. date: 3/8/24
sheet date: 4/24/24

No	Date	Revisions
1	4/11/24	REV. SECURITY CONDUIT
2	4/24/24	EXISTING INVERTS ADDED

sheet title:
EXISTING UNDERGROUND UTILITY PLAN

sheet no.
C1.02

NOTES:
 1. OVERHEAD WIRES WERE SURVEYED BY DUBOIS & KING IN AUGUST 2023.

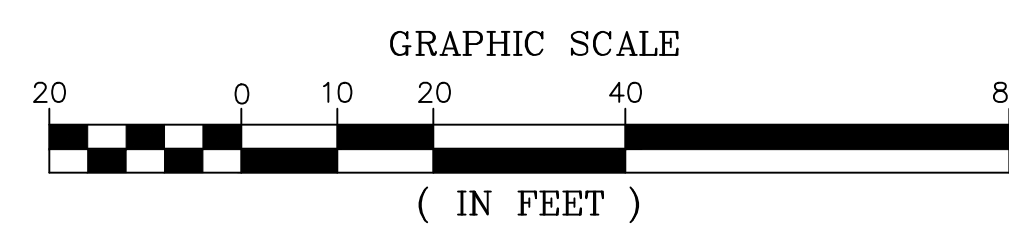


NH Legislative Parking Garage

SK-OHP

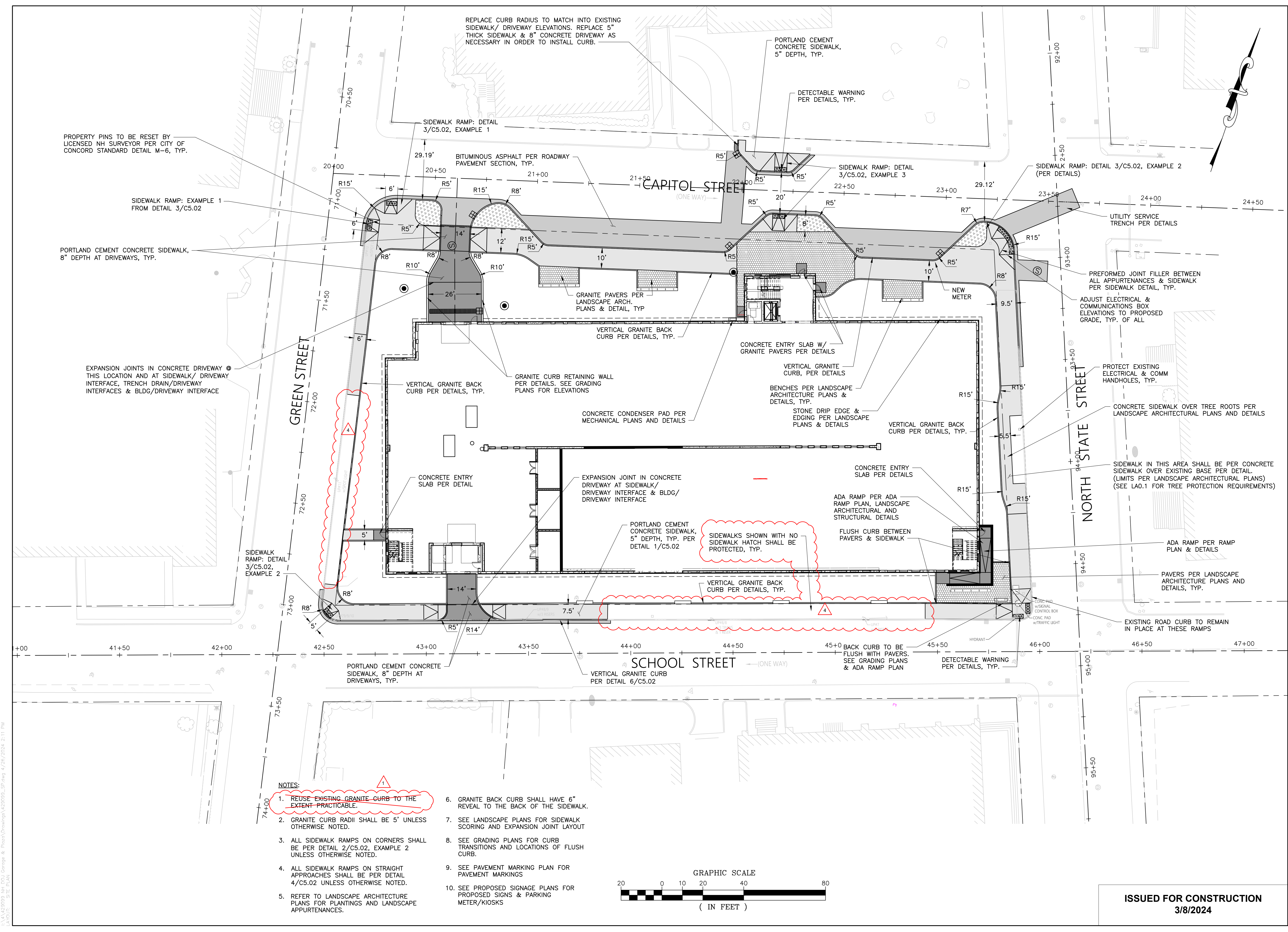
OVERHEAD POWER OFFSET

4/29/24



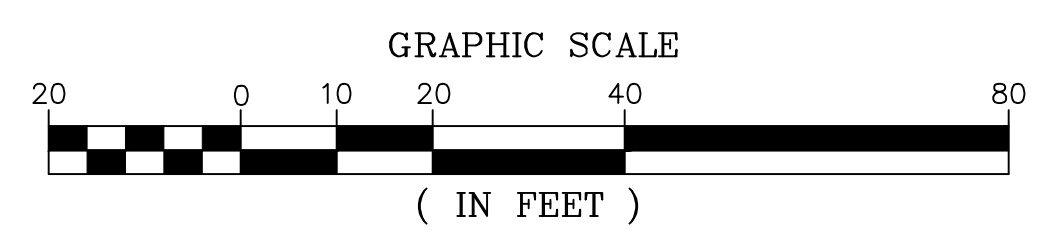
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DK PROJ: 429099



I:\A\429099_NH_031_Concord & Phisoc\Drawings\429099_03.dwg 4/26/2024 2:11 PM
 LAYOUT SITE PLAN

- NOTES:**
- REUSE EXISTING GRANITE CURB TO THE EXTENT PRACTICABLE.
 - GRANITE CURB RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
 - ALL SIDEWALK RAMPS ON CORNERS SHALL BE PER DETAIL 2/C5.02, EXAMPLE 2 UNLESS OTHERWISE NOTED.
 - ALL SIDEWALK RAMPS ON STRAIGHT APPROACHES SHALL BE PER DETAIL 4/C5.02 UNLESS OTHERWISE NOTED.
 - REFER TO LANDSCAPE ARCHITECTURE PLANS FOR PLANTINGS AND LANDSCAPE APPURTENANCES.
 - GRANITE BACK CURB SHALL HAVE 6" REVEAL TO THE BACK OF THE SIDEWALK.
 - SEE LANDSCAPE PLANS FOR SIDEWALK SCORING AND EXPANSION JOINT LAYOUT
 - SEE GRADING PLANS FOR CURB TRANSITIONS AND LOCATIONS OF FLUSH CURB.
 - SEE PAVEMENT MARKING PLAN FOR PAVEMENT MARKINGS
 - SEE PROPOSED SIGNAGE PLANS FOR PROPOSED SIGNS & PARKING METER/KIOSKS



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3/8/2024

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project name:
New Legislative Parking Garage
State Project Number: 81284-B

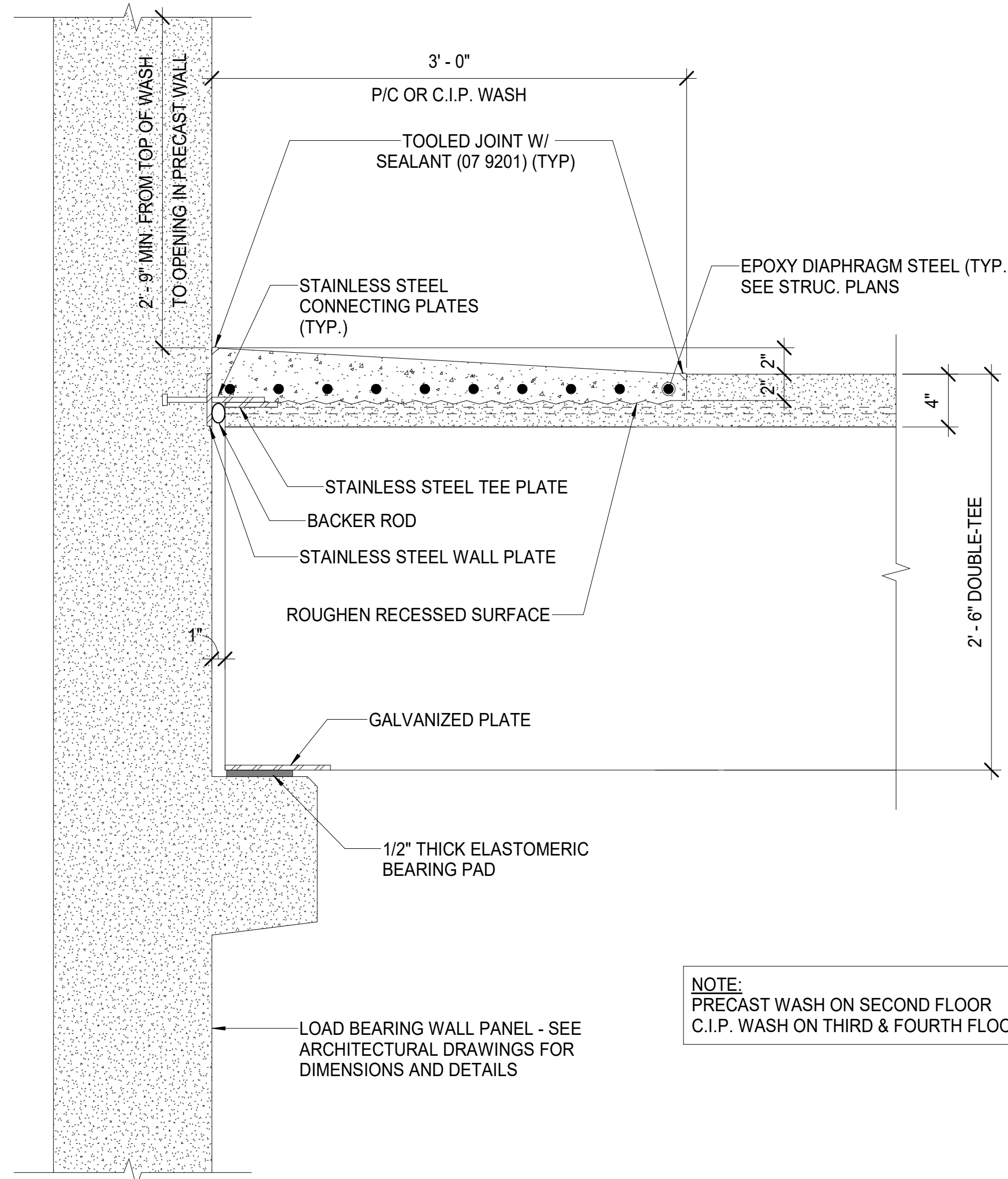
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33 CAPITOL STREET
CONCORD, NH 03301

scale: AS SHOWN
project no. 429099
checked by: LDC
drawn by: MAM
proj. date: 3/8/24
sheet date: 4/26/24

No	Date	Revisions
1	4/1/24	REVISED NOTES
2	4/26/24	EDITS TO SIDEWALK LIMITS

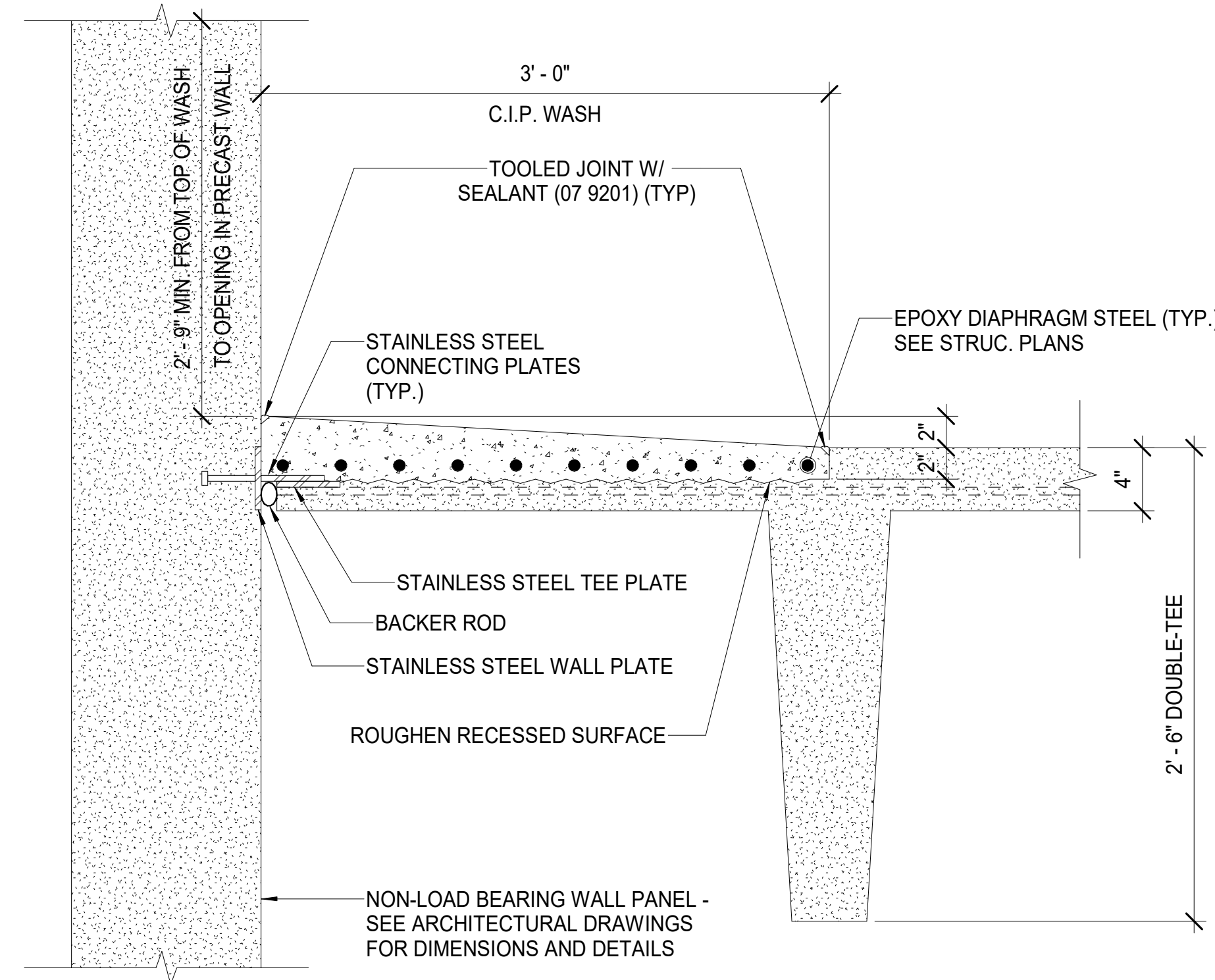
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PROPOSED SITE PLAN

sheet no.
C2.01

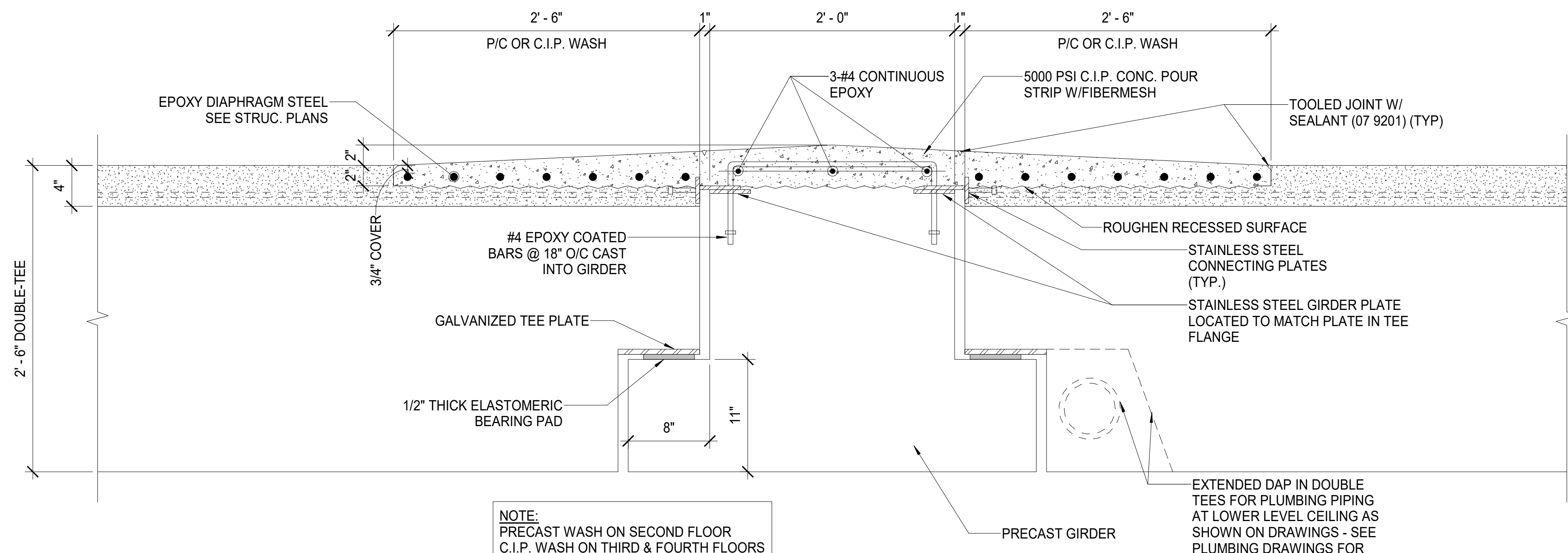


1 CONCRETE WASH @ LOAD BEARING WALL
SK-003 SCALE: 1 1/2" = 1'-0"

NOTE:
PRECAST WASH ON SECOND FLOOR
C.I.P. WASH ON THIRD & FOURTH FLOORS

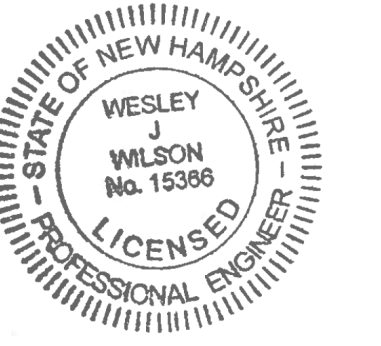


2 C.I.P. WASH @ NON-LOAD BEARING WALL
SK-003 SCALE: 1 1/2" = 1'-0"



3 C.I.P. WASH @ PRECAST GIRDER
SK-003 SCALE: 1 1/2" = 1'-0"

NOTE:
PRECAST WASH ON SECOND FLOOR
C.I.P. WASH ON THIRD & FOURTH FLOORS



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project name:
New Legislative Parking Garage
State Project Number: 81284-B

Project Address:
33 Capitol St.
Concord, NH 03301

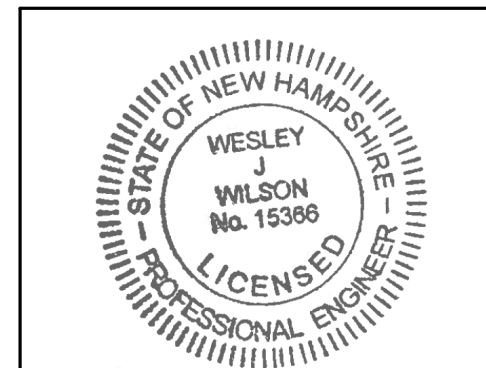
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checked by: WW
drawn by: SP
proj. date: 03/08/24
sheet date: 04/26/24

No	Date	Revisions

sheet title:
DIAPHRAGM REINFORCEMENT

sheet no.
SK-003

ISSUED FOR CONSTRUCTION SET



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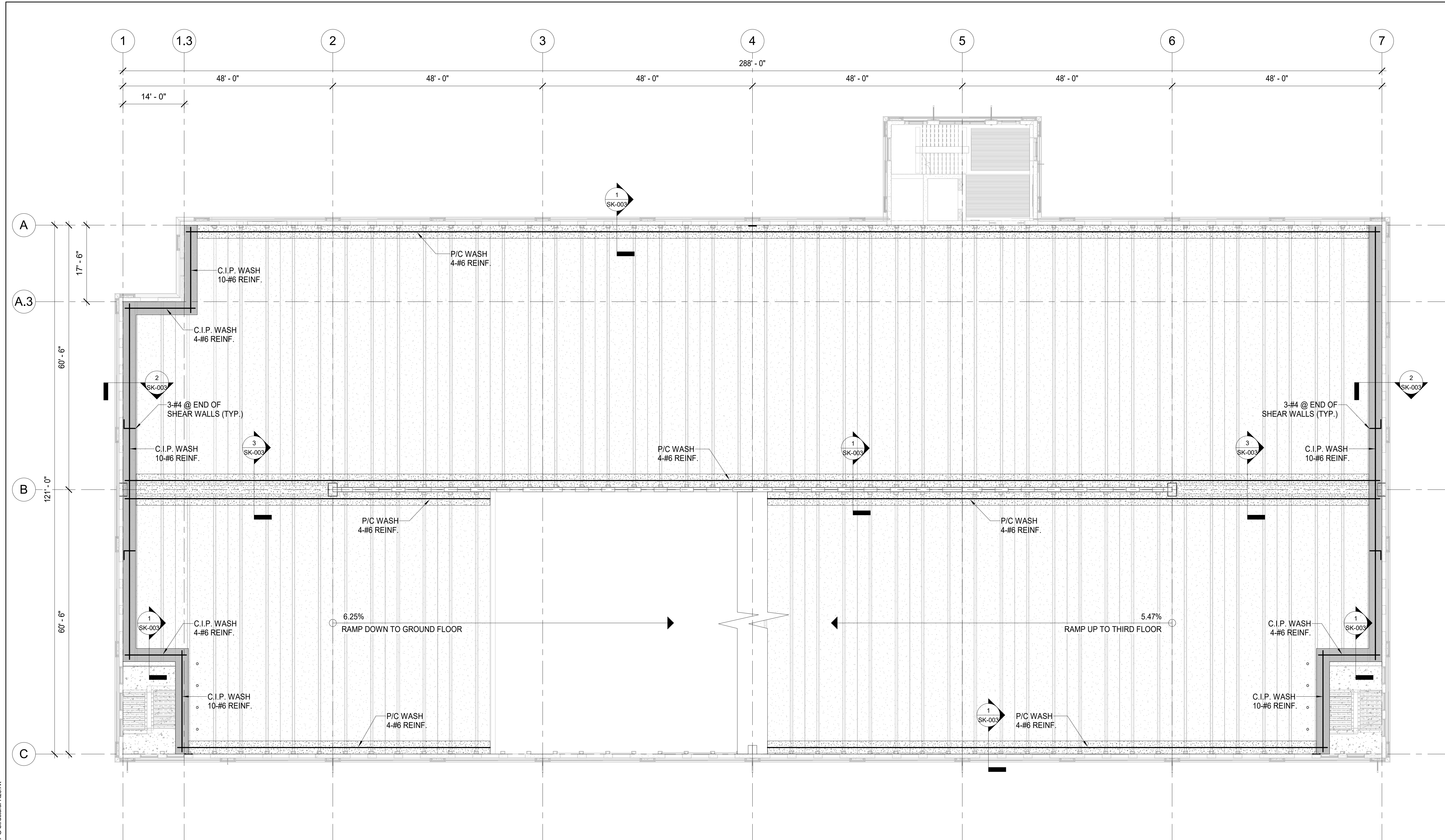
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New Legislative Parking Garage
State Project Number: 81284-B
Project Address:
33 Capitol St.
Concord, NH 03301

scale: As indicated
project no. 20-23131.00-1
checked by: WW
drawn by: SP
proj. date: 03/08/24
sheet date: 04/26/24

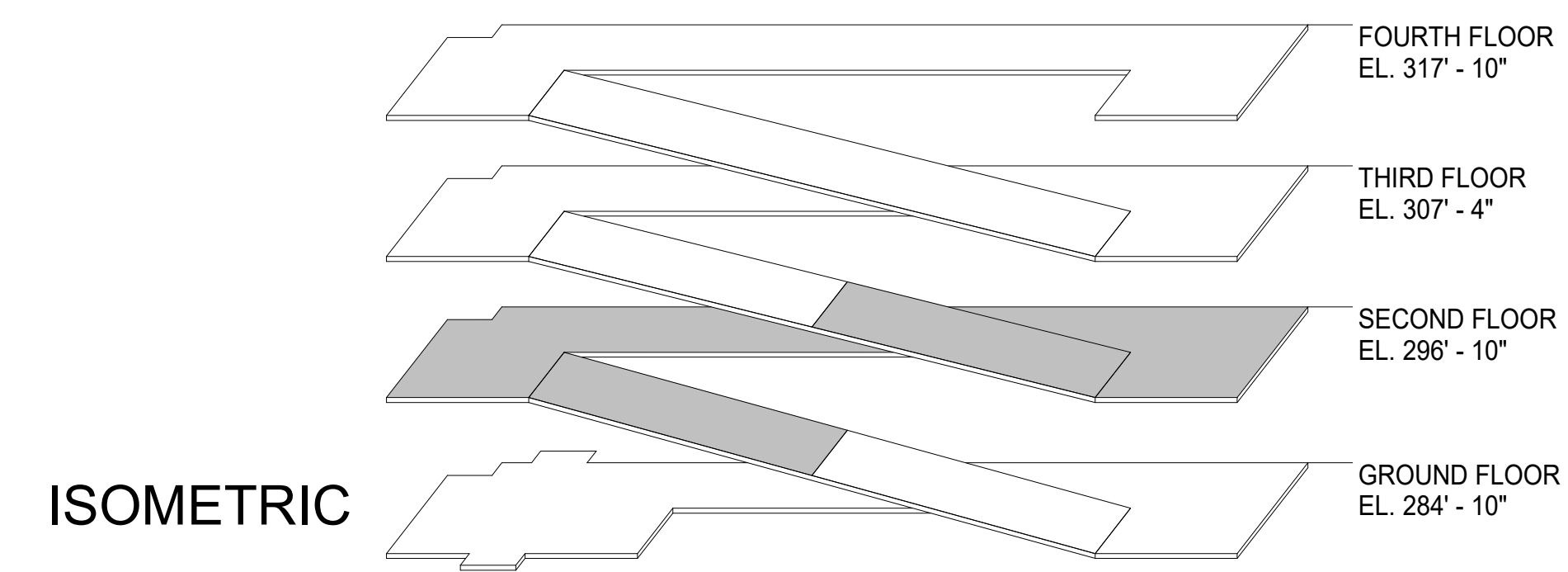
No	Date	Revisions
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sheet title:
**SECOND FLOOR
DIAPHRAGM
REINFORCEMENT
PLAN**

sheet no.
SK-004



1 SECOND FLOOR DIAPHRAGM REINF. PLAN
SK-004 SCALE: 3/32" = 1'-0"



GENERAL NOTES:

1. DENOTES C.I.P. WASH W/ DIAPHRAGM REINFORCEMENT. TO HAVE 5,000 PSI FIBER MESH REINFORCED C.I.P. CONCRETE TOPPING SLABS TO MEET FLUSH WITH ADJACENT PRECAST ELEMENTS WITH 2% MAX SLOPE. BROOM FINISH WITH AMPLITUDE TO MATCH PRECAST.

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4/26/2024 8:36:18 AM Autodesk Docs://Legislative Parking Garage/NH LPG Structural R23.rvt



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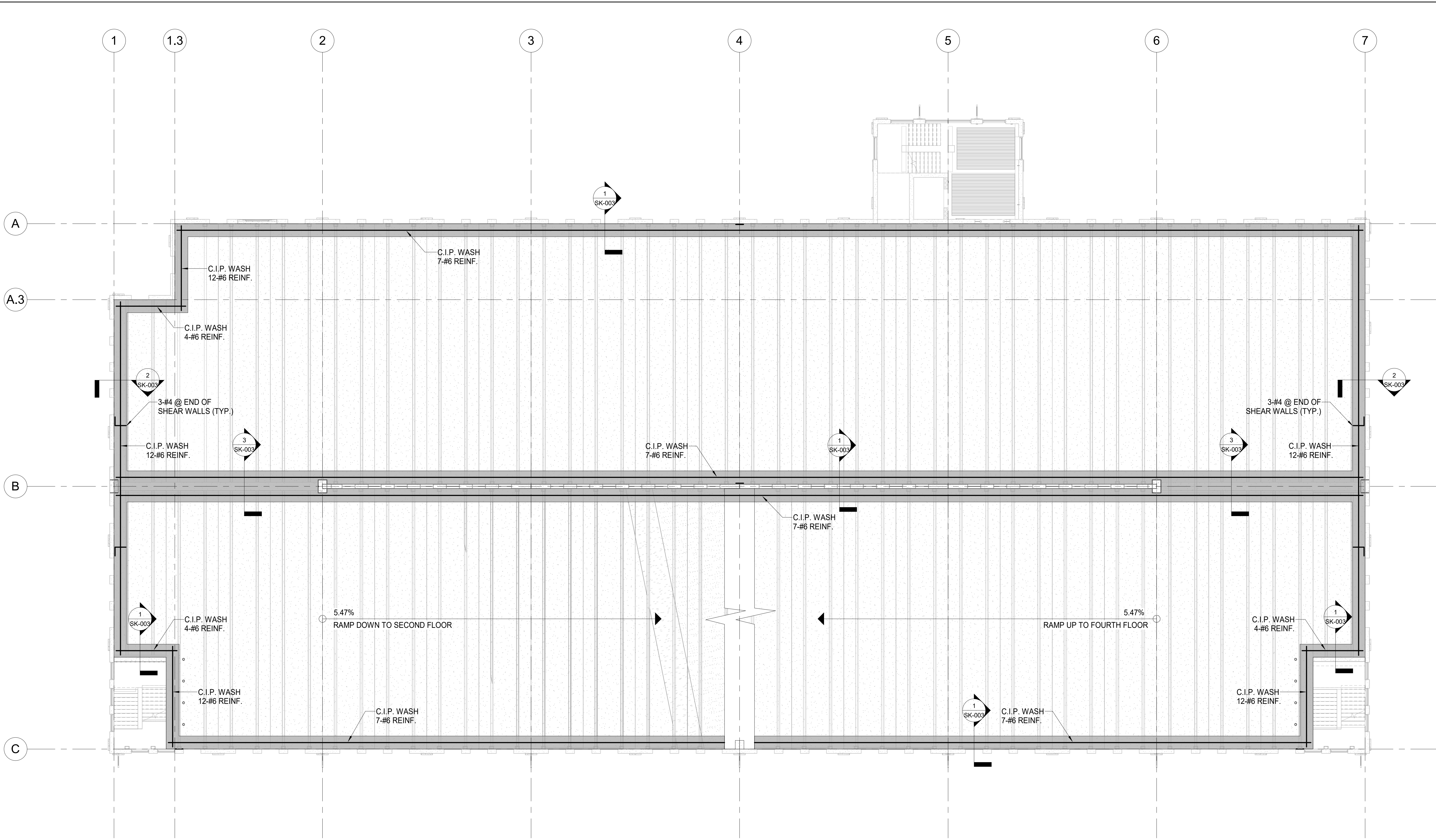
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New Legislative Parking Garage
State Project Number: 81284-B
Project Address:
33 Capitol St.
Concord, NH 03301

scale: As indicated
project no. 20-23131.00-1
checked by: WW
drawn by: SP
proj. date: 03/08/24
sheet date: 04/26/24

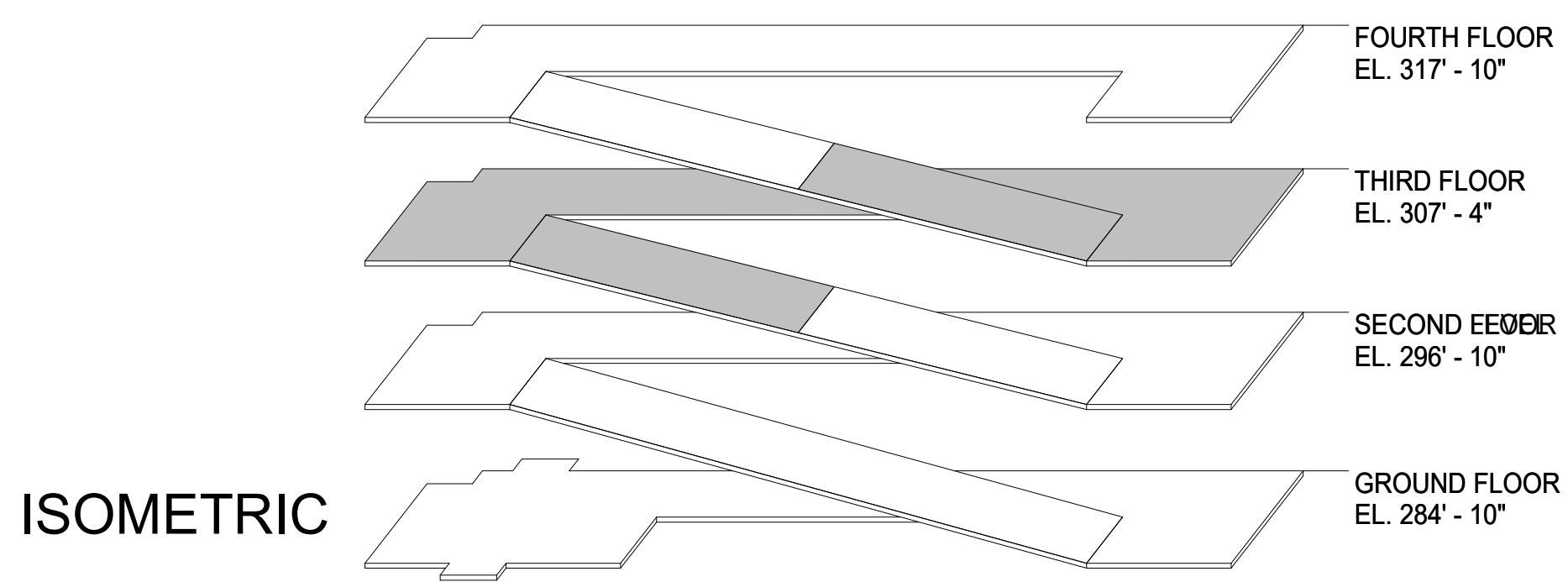
No	Date	Revisions
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sheet title:
THIRD FLOOR DIAPHRAGM REINFORCEMENT PLAN

sheet no.
SK-005



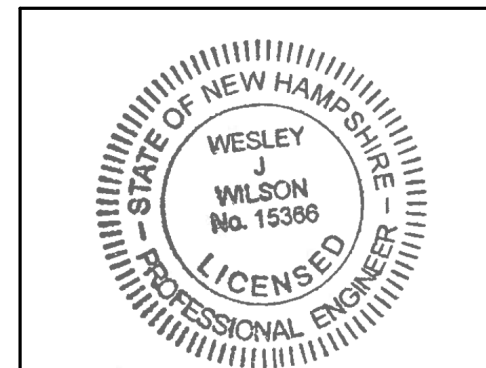
1 THIRD FLOOR DIAPHRAGM REINF. PLAN
SK-005 SCALE: 3/32" = 1'-0"



GENERAL NOTES:

1. [Symbol] DENOTES C.I.P. WASH W/ DIAPHRAGM REINFORCEMENT. TO HAVE 5,000 PSI FIBER MESH REINFORCED C.I.P. CONCRETE TOPPING SLABS TO MEET FLUSH WITH ADJACENT PRECAST ELEMENTS WITH 2% MAX SLOPE. BROOM FINISH WITH AMPLITUDE TO MATCH PRECAST.

ISSUED FOR CONSTRUCTION SET



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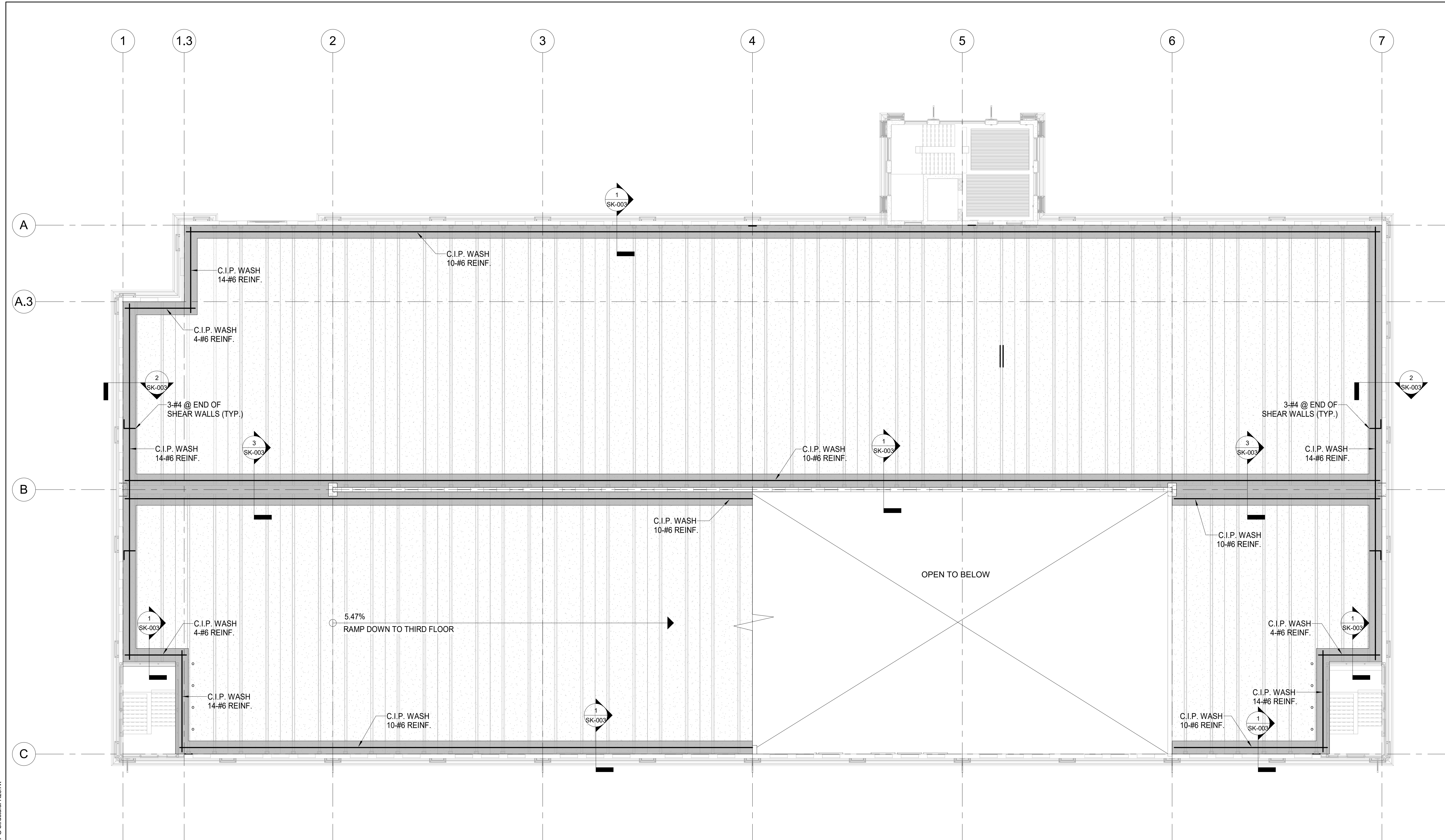
project name:
New Legislative Parking Garage
State Project Number: 81284-B
Project Address:
33 Capitol St.
Concord, NH 03301

scale: As indicated
project no. 20-23131.00-1
checked by: WW
drawn by: SP
proj. date: 03/08/24
sheet date: 04/26/24

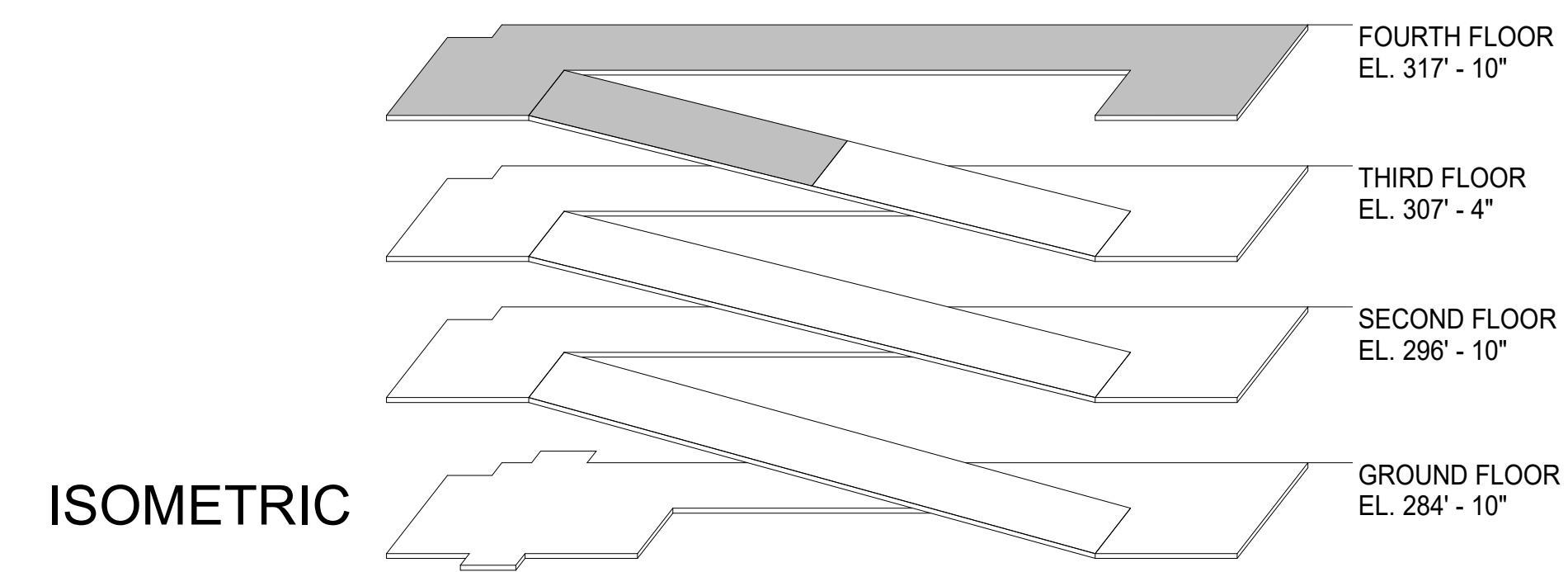
No	Date	Revisions
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sheet title:
**FOURTH FLOOR
DIAPHRAGM
REINFORCEMENT
PLAN**

sheet no.
SK-006



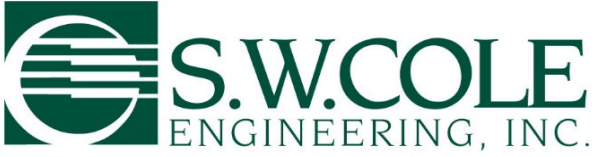
1 FOURTH FLOOR DIAPHRAGM REINF. PLAN
SK-006 SCALE: 3/32" = 1'-0"



GENERAL NOTES:

1. DENOTES C.I.P. WASH W/ DIAPHRAGM REINFORCEMENT. TO HAVE 5,000 PSI FIBER MESH REINFORCED C.I.P. CONCRETE TOPPING SLABS TO MEET FLUSH WITH ADJACENT PRECAST ELEMENTS WITH 2% MAX SLOPE. BROOM FINISH WITH AMPLITUDE TO MATCH PRECAST.

**ISSUED FOR
CONSTRUCTION SET**



Report of Loss on Ignition Ash and Organic Content

ASTM D2974-07a

Project Name: Proposed Parking Garage
Project Location: Concord, NH
Client: Scott Partners Architecture
Material Description: Sandy Organics
Material Source: B-107 3D 5-7 ft

Project Number: 22-1571
Lab ID: 8448M
Date Received: 04/22/24
Date Completed: 04/25/24
Tested By: D. Jack

Organic Content	15.2%
	(Maximum)
Ash Content	84.8%
Furnace Temperature	440°

Comments: Moisture Content = 89.9%

Reviewed By: _____