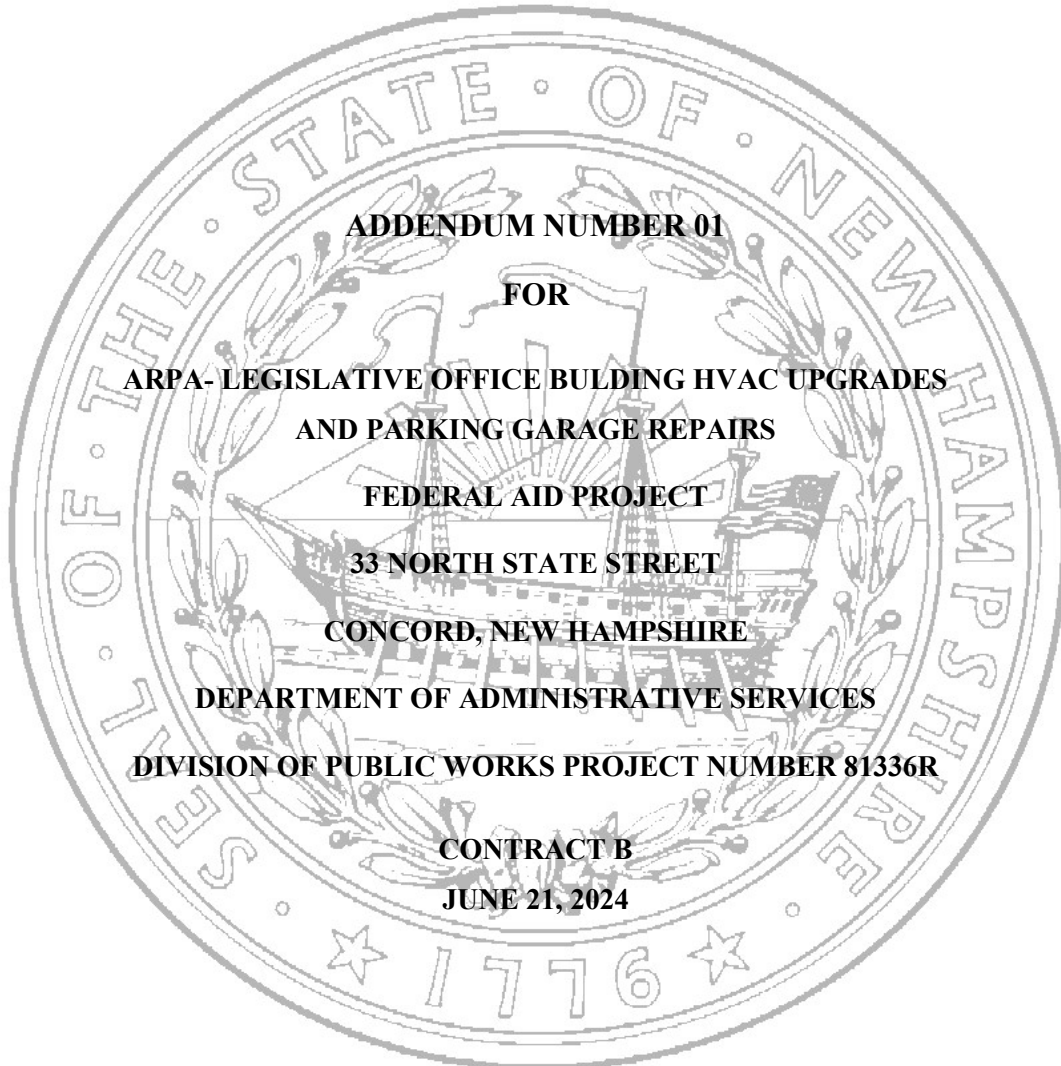




CHARLES M. ARLINGHAUS
Commissioner

STATE of NEW HAMPSHIRE
DEPARTMENT of ADMINISTRATIVE SERVICES
DIVISION of PUBLIC WORKS - DESIGN & CONSTRUCTION
POB 483, 7 Hazen Drive – Room 250
Concord, New Hampshire 03302-0483
Phone 603-271-3516, Fax 603-271-3515



ADDENDUM NUMBER 01
FOR
ARPA- LEGISLATIVE OFFICE BULDING HVAC UPGRADES
AND PARKING GARAGE REPAIRS
FEDERAL AID PROJECT
33 NORTH STATE STREET
CONCORD, NEW HAMPSHIRE
DEPARTMENT OF ADMINISTRATIVE SERVICES
DIVISION OF PUBLIC WORKS PROJECT NUMBER 81336R
CONTRACT B
JUNE 21, 2024

DOCUMENT 00911

ADDENDUM NUMBER 01

TO: ALL CONTRACT BIDDERS OF RECORD

This Addendum forms a part of the Contract Documents and modifies the Bidding Documents dated June 6, 2024, with amendments and additions noted below.

The Contractor shall acknowledge this addendum electronically as part of the electronic bid. Failure to do so will prevent the Bidder from submitting an electronic bid.

This Addendum consists of 3 pages and the following Drawings:

No.	Drawing Title	Issue Date
A10-1	Mechanical Penthouse Plan and Main Roof Renovation Plan	6/21/24
A10-3	East Roof Renovation	6/21/24
A35-1	Roof Access Stair Detail	6/21/24
A50-2	Roof Detail	6/21/24

CHANGES TO THE SPECIFICATIONS

DOCUMENT 00110 – INSTRUCTIONS TO BIDDERS

1. Change date for bid opening. “Proposals will be submitted electronically via <https://nhdot.exevision.com/icx/Index.aspx> by 2:00 PM, Prevailing Time, on **Wednesday July 10, 2024**, for the following project:”
2. All questions must be submitted by Monday July 1, 2024.

QUESTIONS

3. Q: I have not looked at plans yet, but is there is a start date or just needs to be completed in October 2026?
A: See Summary 01100 1.5 Work Sequence page 86.
4. Q: Will there be another walk through?
A: Yes. THERE WILL BE A NON-MANDATORY PRE-BID CONFERENCE TUESDAY JUNE 25, 2024, AT 9 AM AT LEGISLATIVE OFFICE BUILDING 33 NORTH STATE STREET.
5. Q: What is the estimate for this project?
A: Over 5 million dollars.

CHANGES TO THE DRAWINGS

6. DRAWING A10-1 Mechanical Penthouse Plan and Main Roof Renovation Plan
Delete this Drawing and replace with Drawing A10-1 issued with this Addendum.
7. DRAWING A10-3 East Roof Renovation
Delete this Drawing and replace with Drawing A10-3 issued with this Addendum.
8. DRAWING A35-1 Roof Access Stair Detail
Delete this Drawing and replace with Drawing A35-1 issued with this Addendum.
9. DRAWING A50-2 Roof Detail
Delete this Drawing and replace with Drawing A50-2 issued with this Addendum.

Michelle L. Juliano, P.E.

Michelle Juliano, PE, Deputy Director Division of
Public Works– Design & Construction

END OF DOCUMENT

STATE OF NEW HAMPSHIRE ARPA LEGISLATIVE OFFICE BUILDING HVAC UPGRADES

CONCORD, NEW HAMPSHIRE

Harriman Project No. 23239

GENERAL NOTES

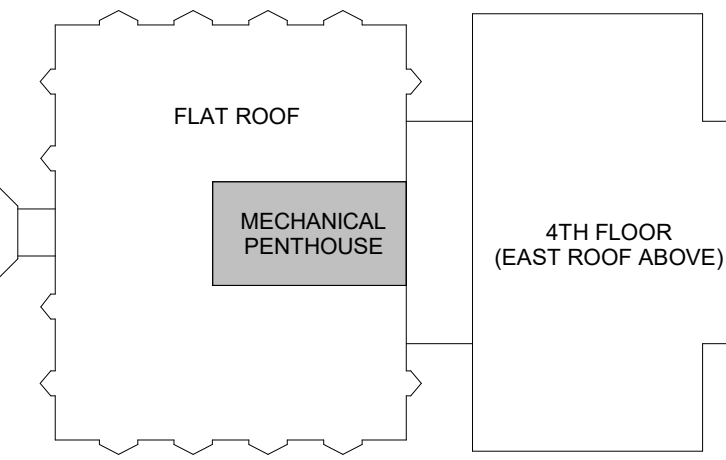
- PLANS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS.
- SEE SHEET A50-2 FOR ROOF DETAILS.

SYMBOLS LEGEND

- PLAN KEYNOTE
- NEW EPDM MEMBRANE ROOF AREA
- AREA OF EXISTING SLATE ROOF SCOPE IMPACT TYPICAL OF (2) & ALL PARAPET REPAIR
- (ERD) EXISTING ROOF DRAIN

KEYNOTES

- RUBBERIZED WALKING PAD, DIRECT ADHERED. PROVIDE COVERAGE ALONG ALL PRIMARY ACCESS ROUTES AND RTU MAINTENANCE LOCATIONS.
- ADD ROOF DRAIN. SEE PLUMBING DRAWINGS & A1 / A50-2 FOR DETAILS.
- INSULATED METAL DOOR AND FRAME. SEE A50-1 FOR DETAILS.
- INFILL EXTERIOR WALL OPENING W/ NEW 2X @ 16" MIN. O.C. STUD FRAMING TO MATCH EXISTING.
- EPOXY PAINT EXISTING CONCRETE FLOOR PRIOR TO INSTALLATION OF NEW MECHANICAL EQUIPMENT. PREP CONCRETE AS REQUIRED BY PAINT MANUF. COLOR: STANDARD GRAY.
- FABRICATED METAL LOW-HIGH ROOF ACCESS STAIR. SEE A3 / A35-1 FOR DETAILS.
- CUSTOM WOOD REPLACEMENT DOOR REPLACEMENT IN EXISTING WINDOW OPENING. SEE A50-1 FOR DETAILS.
- FABRICATED METAL SHIP LADDER. SEE A1 / A35-1 FOR DETAILS.
- FABRICATED LOW ROOF ACCESS STAIR. SEE A2 / A35-1 FOR DETAILS.
- RETURN EPDM UP SLOPED ROOF TO MATCH EXISTING CONDITIONS.
- APPROXIMATE AREA OF MECHANICAL ROOF UNIT. SEE MECHANICAL DRAWINGS FOR DETAIL. PROVIDE CURB AS REQUIRED. SEE TYPICAL DETAIL.
- ROOF CANT.



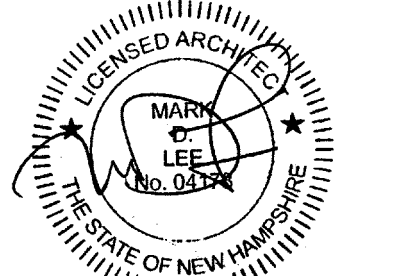
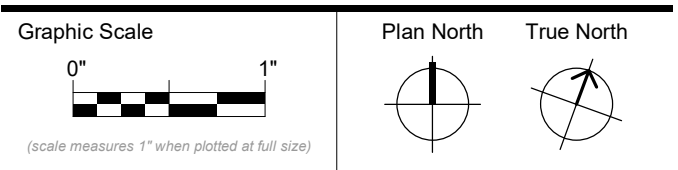
FLAT ROOF LEVEL KEY PLAN

RENOVATION SCOPE

- (1) NEW MECHANICAL PENTHOUSE ACCESS DOOR IN NEW OPENING
- (1) NEW CUSTOM WOOD ROOF ACCESS DOOR IN EXISTING OPENING
- (3) METAL ROOF ACCESS STAIR / LADDER ASSEMBLIES
- CURBS REQUIRED FOR NEW MECHANICAL ROOF UNIT GRILLAGE. COORDINATE W/ MECHANICAL DRAWINGS AND SPECIFICATIONS
- (1) PREFABRICATED ALUMINUM MECHANICAL UNIT MAINTENANCE ACCESS STAIR. ADJUSTABLE. OSHA COMPLIANT. INCLUDE MEMBRANE ROOF SAFE SPREAD FOOT PADS. COORDINATE PLACEMENT AND SIZE REQUIREMENTS WITH MECHANICAL ROOF UNIT.
- EXISTING MECHANICAL PENTHOUSE WALL INFILL.
- REMOVE AND REINSTALL (2) EXISTING ROOF DRAIN CAP ASSEMBLIES AS REQUIRED FOR INSTALLATION OF NEW ROOF FINISH ASSEMBLY.
- (1) ADDITIONAL ROOF DRAIN. COORDINATE ROOF DECK CUT WITH STRUCTURE BELOW. SEE PLUMBING DRAWINGS AND SPECIFICATIONS FOR DETAILS.
- INSTALL MECHANICAL UNIT CURBS AS REQUIRED BY UNIT TYPE. SEE ALL ASSOCIATED DRAWINGS
- NEW EPDM ROOF MEMBRANE ON (3) PORTIONS OF EXISTING ROOF. ASSEMBLY TO INCLUDE:
 - FULL REPLACEMENT OF COVER BOARD
 - PARTIAL REPLACEMENT OF TAPERED INSULATION, AS NOTED.
 - FULL REPLACEMENT OF ALL ASSOCIATED METAL COPINGS, FLASHINGS AND PARAPET CAPS. MATCH EXISTING COPPER FINISH.
 - REPAIR AND REPLACE WOOD PARAPET BLOCKING WITH NEW PRESSURE TREATED WOOD BLOCKING AS REQUIRED.
- REINSTALL SALVAGED SLATE ROOF SHINGLES
 - CONTRACTOR TO PROVIDE NEW FASTENERS TO MATCH EXISTING AS REQUIRED.
 - CONTRACTOR TO REPLACE ALL SLATE DAMAGED IN REMOVE/REINSTALL PROCESS. MATCH EXISTING.
 - SCOPE AREA INCLUDES ALL PERIMETER PARAPET REPAIR AND NOT LIMITED TO THE PRIMARY (2) AREAS NOTED.

NOTE:

- DAMAGED WOOD BLOCKING DEFINED AS:
 - A. PHYSICALLY DETERIORATED AND UNSTABLE
 - B. MOLD OR SIMILAR WATER INFILTRATION DAMAGE OR GROWTHS
 - C. DISLODGED FROM CORRECTLY INSTALLED POSITION.
 - D. INSUFFICIENT FASTENERS PER NEW ROOF ASSEMBLY COMPONENT MANUFACTURER STANDARDS AND WARRANTY REQUIREMENTS.



CONSTRUCTION DOCUMENTS

JUNE 6, 2024

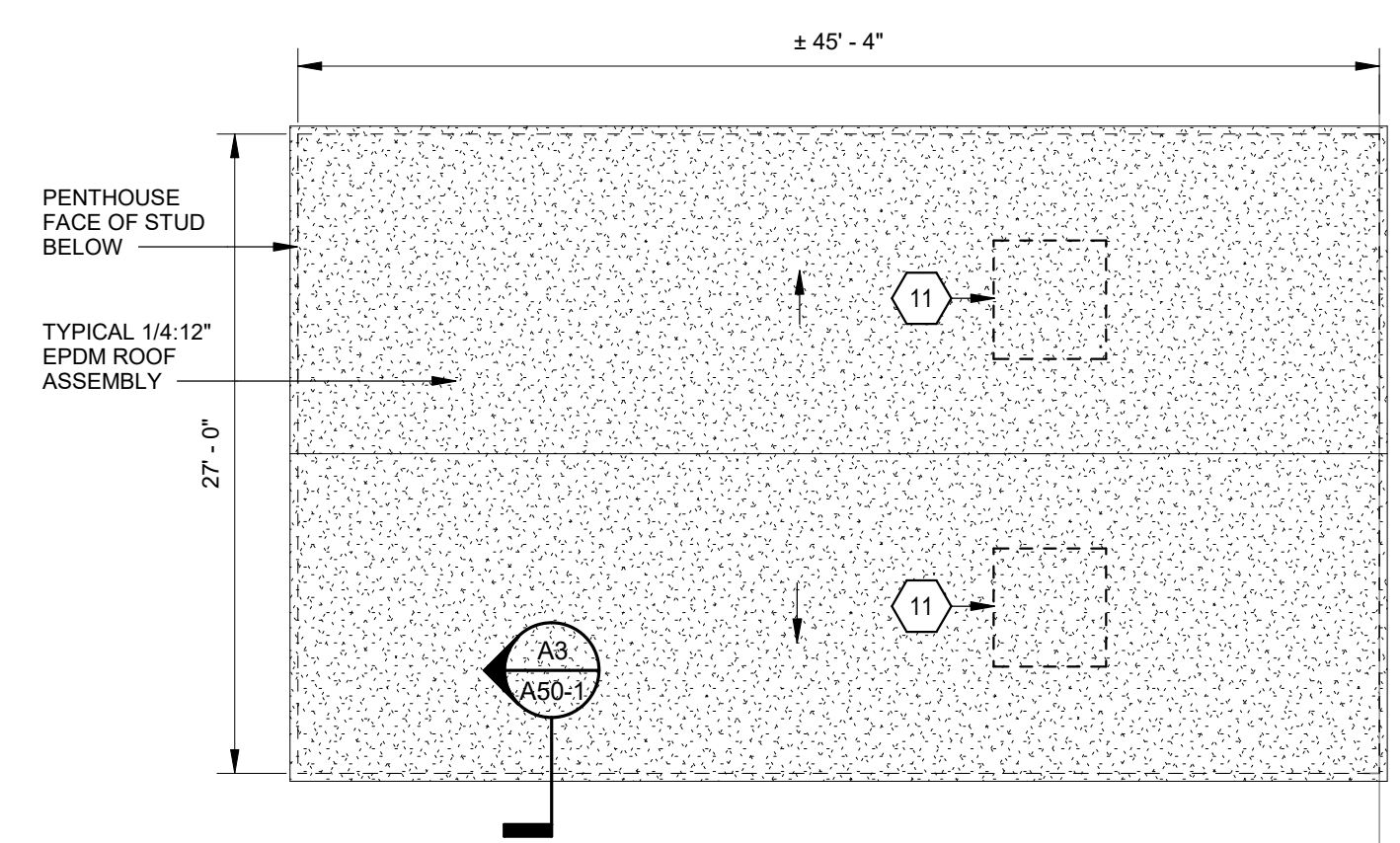
Revision Date	Revision Description
06-21-2024	ADDENDUM 1

Drawn by: KLS

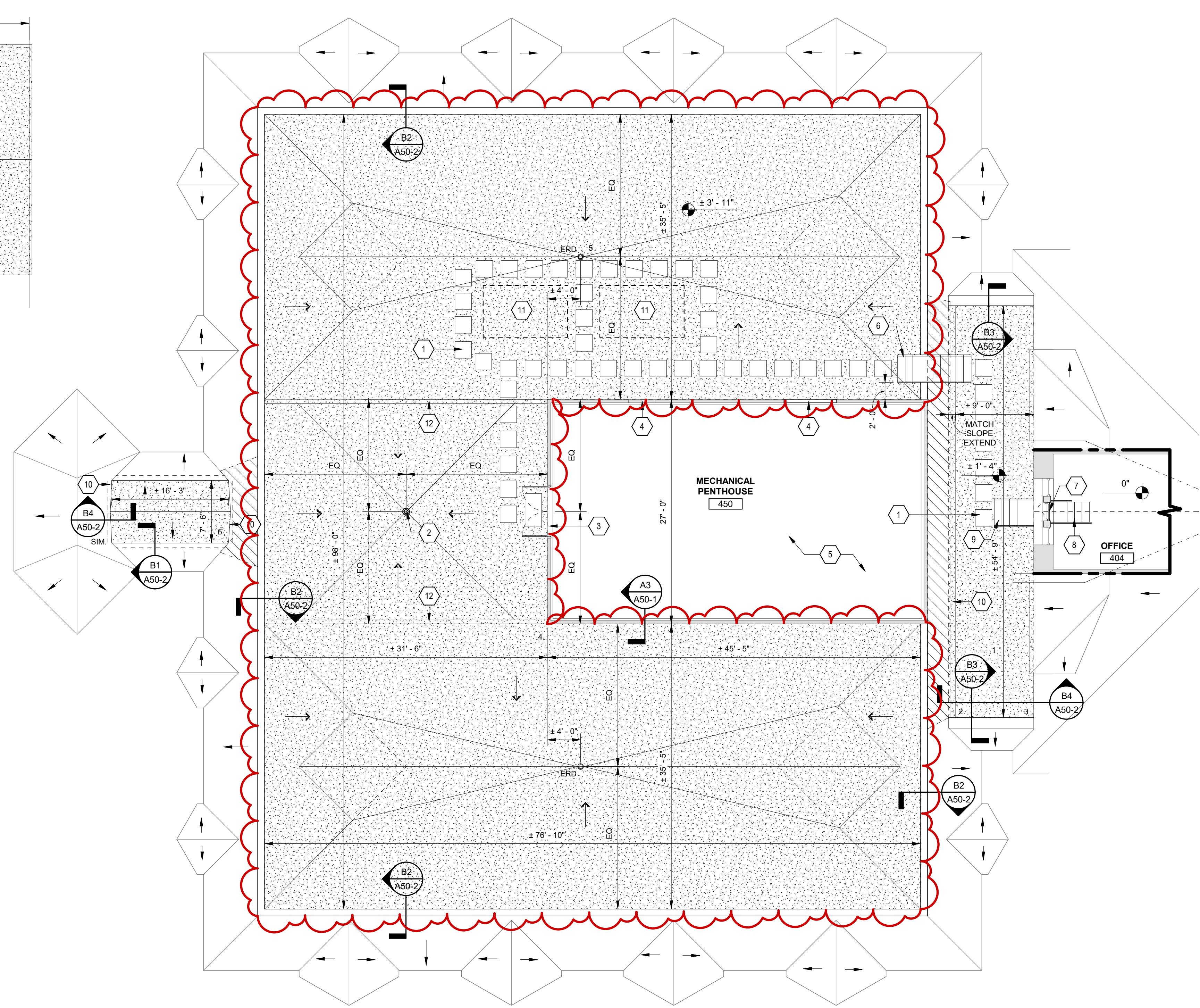
MECHANICAL PENTHOUSE PLAN & MAIN ROOF RENOVATION PLAN

A10-1

7 OF 84



B1 MECHANICAL PENTHOUSE ROOF PLAN
SCALE: 1/8" = 1'-0"



A1 PENTHOUSE, ROOF & PARTIAL 4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



1



2



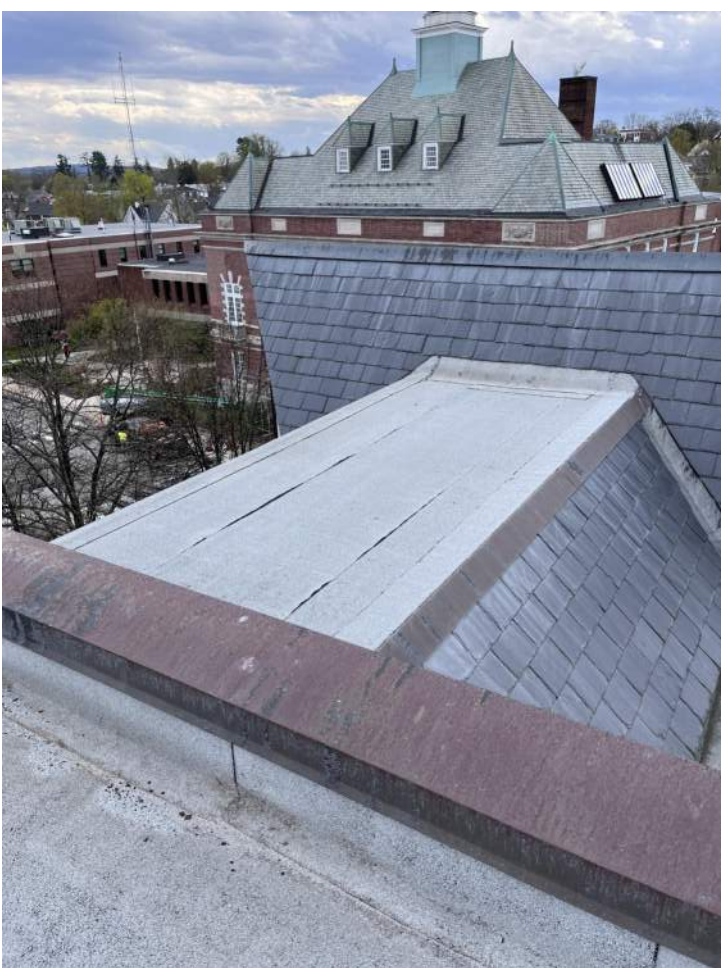
3



4



5



6

STATE OF NEW HAMPSHIRE ARPA LEGISLATIVE OFFICE BUILDING HVAC UPGRADES

CONCORD, NEW HAMPSHIRE

Revision Number: 239239

GENERAL NOTES

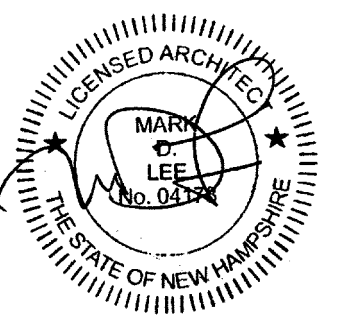
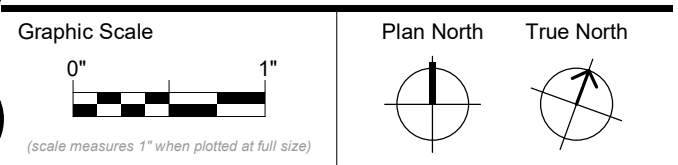
- PLANS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS.

SYMBOLS LEGEND

- # PLAN KEYNOTE
- [Pattern] NEW EPDM MEMBRANE ROOF AREA
- [Pattern] AREA OF EXISTING SLATE ROOF SCOPE IMPACT

KEYNOTES

- PROVIDE RUBBERIZED WALKING PAD. DIRECT ADHERED PROVIDE COVERAGE ALONG ALL PRIMARY ACCESS ROUTES AND RTU MAINTENANCE LOCATIONS
- RETURN EPDM UP SLOPED ROOF TO MATCH EXISTING CONDITIONS
- APPROXIMATE AREA OF MECHANICAL ROOF UNIT. SEE MECHANICAL DRAWINGS FOR DETAILS. PROVIDE CURB AS REQUIRED. SEE TYPICAL DETAIL
- EXISTING DECORATIVE 28" HIGH METAL RAILING TO BE SELECTIVELY REMOVED & REFINISHED. SEE SCOPE NOTES FOR DETAILS
- FLEX FLASH & SEAL EPDM TO BASE OF EXISTING DECORATIVE FINIAL



CONSTRUCTION DOCUMENTS

Revision Date	Revision Description
06-21-2024	ADDENDUM 1

Drawn by: KLS

EAST ROOF RENOVATION

A10-3
9 OF 84

HAZARDOUS MATERIALS

COMPONENTS OF THE EXISTING ROOFS SCHEDULED FOR DEMOLITION CONTAIN ASBESTOS. SEE THE ANALYSIS REPORT PREPARED BY SLR INTERNATIONAL CORPORATION DATED MAY 29, 2024 PROVIDED IN THE SPECIFICATIONS APPENDIX FOR DETAILS.

DEMOLITION SCOPE

REMOVALS:

- REMOVE TPO ROOFING MEMBRANE COMPLETE IN NOTED SCOPE AREAS.
- REMOVE COVER BOARD COMPLETE IN NOTED SCOPE AREAS
- REMOVE TOP/DAMAGED LAYER OF TAPERED INSULATION COMPLETE IN NOTED SCOPE AREAS. ESTIMATE 20%.
- REMOVE ALL SCOPE AREA ASSOCIATED COPING FLASHING. SAVE NON-CONTAMINATED AND INTACT MATERIALS FOR REINSTALLATION.
- REMOVE DAMAGED WOOD PARAPET BLOCKING
- REMOVE ALL EXISTING WALKING PADS ASSOCIATED WITH ROOF SURFACES. SAVE FOR REINSTALLATION.
- CONTRACTOR TO REMOVE PORTIONS OF EXISTING SLATE ROOFING REQUIRED FOR INSTALL OF NEW ROOF FINISH. SLATE TO BE SAVED FOR REINSTALLATION

NOTES:

- THE BUILDING IS TO REMAIN WEATHER TIGHT AND SECURE WHILE NOT ACTIVELY BEING WORKING ON. CONTRACTOR TO PROVIDE TEMPORARY PLYWOOD SHEATHING CLOSURES FOR ALL OPENING ALTERATIONS AS REQUIRED.
- CONTRACTOR TO PROVIDE A POLY SHEET PROTECTION ENCLOSURE FOR THE IMPACTED AREAS OF INTERIOR WORK.
- CONTRACTOR TO PROVIDE PROTECTION FOR EXISTING BUILDING COMPONENTS TO REMAIN.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING A CLEAN WORK AREA AND INTERIOR ACCESS PATH.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR OF EXISTING CONDITION TO FOUND CONDITION AS REQUIRED.
- DAMAGED AND/OR RIGID INSULATION REQUIRING REMOVAL DEFINED AS:
 - PHYSICALLY DETERIORATED AND UNSTABLE
 - MOLD OR SIMILAR WATER INFILTRATION DAMAGE OR GROWTHS
 - IRREVERSIBLE COMPACTION RESULTING IN SURFACE WATER PONDING OR NON-DRAINAGE
 - AREAS WHERE NEW SURFACE DRAINAGE DESIGN DEVIATES FROM EXISTING CONDITIONS.

ROOF RENOVATION SCOPE

- NEW EPDM ROOF MEMBRANE ON (2) PORTIONS OF EXISTING EAST ROOF. SEE ASSEMBLY DETAIL C1/A50-2. ASSEMBLY TO INCLUDE:
 - FULL REPLACEMENT OF COVER BOARD
 - PARTIAL REPLACEMENT OF TAPERED INSULATION, AS NOTED.
 - REINSTALL SALVAGED METAL COPING FLASHING. CONTRACTOR TO PROVIDE PROFILE AND FINISH MATCHING REPLACEMENTS AS REQUIRED BY DAMAGE OR HAZARDOUS CONTAMINATION
 - REPAIR AND REPLACE WOOD EDGE BLOCKING WITH NEW PRESSURE TREATED WOOD BLOCKING AS REQUIRED.
 - INSTALL MECHANICAL UNIT CURBS AS REQUIRED BY UNIT TYPE. SEE ALL ASSOCIATED DRAWINGS
- REINSTALL SALVAGED SLATE ROOF SHINGLES
 - CONTRACTOR TO PROVIDE NEW FASTENERS TO MATCH EXISTING AS REQUIRED.
 - CONTRACTOR TO REPLACE ALL SLATE DAMAGED IN REMOVE/REINSTALL PROCESS. MATCH EXISTING.
 - SCOPE AREA INCLUDES ALL PERIMETER PARAPET REPAIR AND NOT LIMITED TO THE PRIMARY (2) AREAS NOTED.

NOTE:

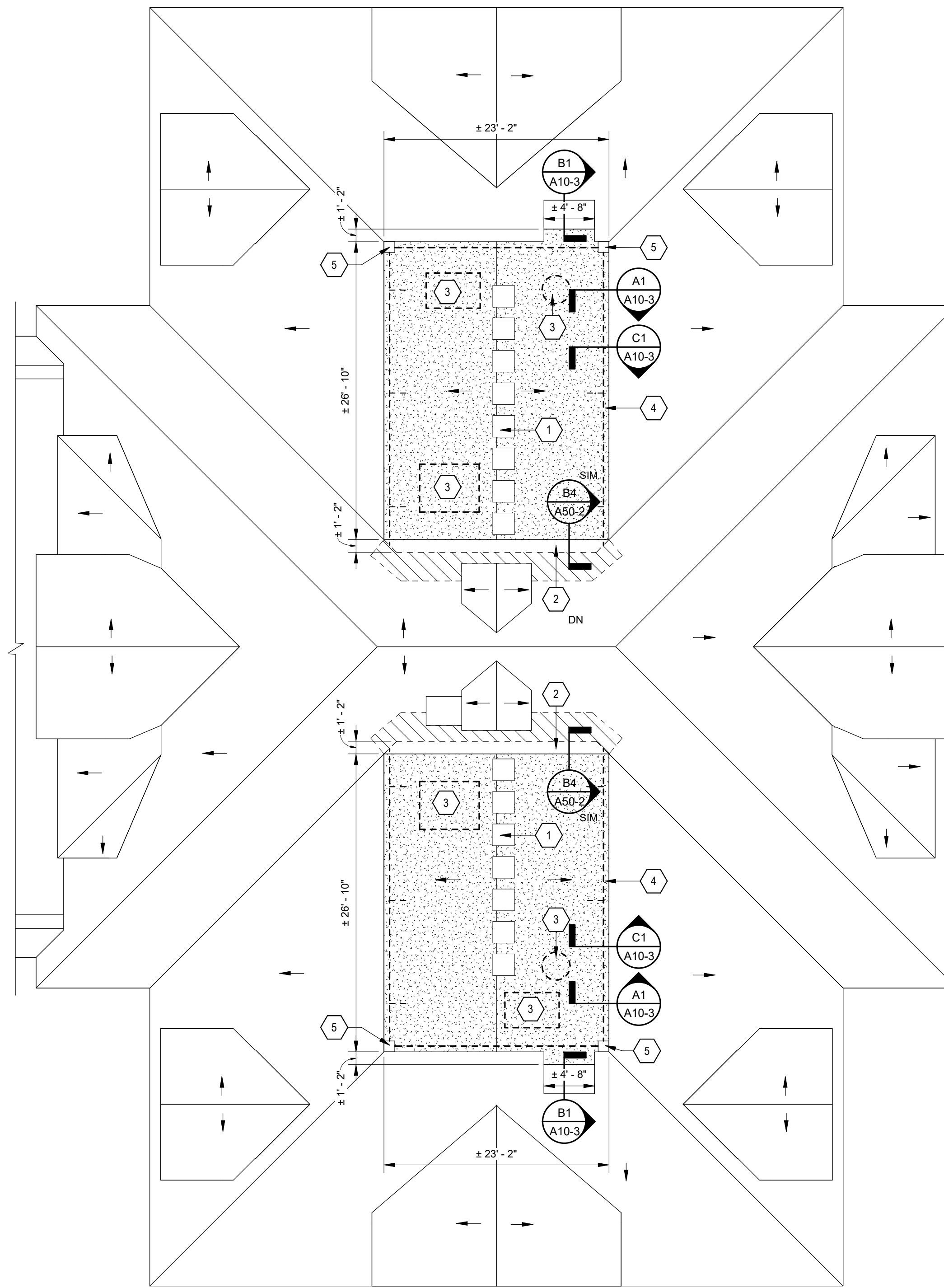
- DAMAGED WOOD BLOCKING DEFINED AS:
 - PHYSICALLY DETERIORATED AND UNSTABLE
 - MOLD OR SIMILAR WATER INFILTRATION DAMAGE OR GROWTHS
 - DISLODGED FROM CORRECTLY INSTALLED POSITION.
 - INSUFFICIENT FASTENERS PER NEW ROOF ASSEMBLY COMPONENT MANUFACTURER STANDARDS AND WARRANTY REQUIREMENTS.

DECORATIVE RAILING SCOPE

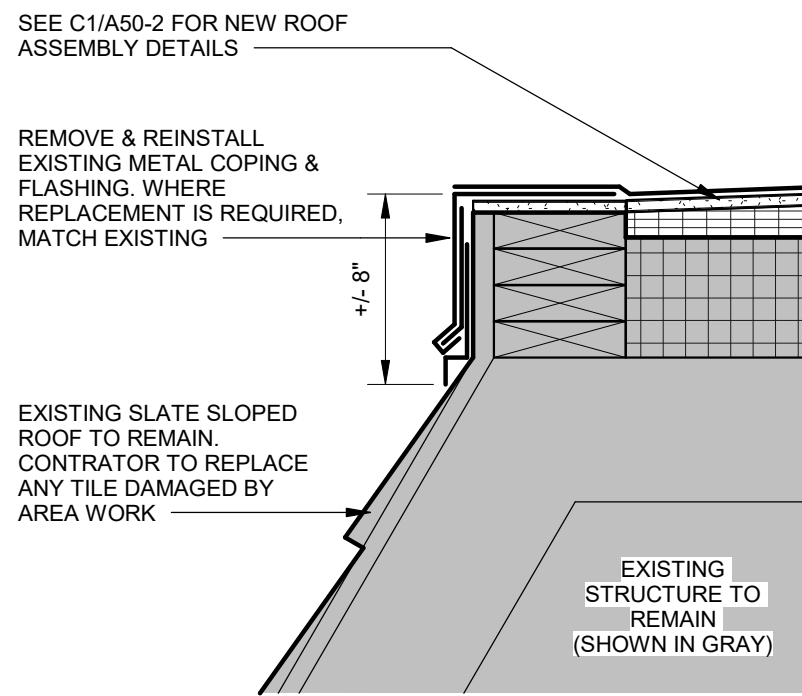
- CONTRACTOR IS RESPONSIBLE FOR ALL DOCUMENTATION REQUIRED TO REASSEMBLE DECORATIVE RAILING TO MATCH EXISTING LAYOUT.
- CONTRACTOR TO ESTABLISH EXISTING FINISH COLOR MATCH PRIOR TO START OF RESTORATION PROCESS. OWNER TO APPROVE FINAL FINISH.
- ROOF MOUNTED RAILING POSTS AND CROSS BRACED TO REMAIN IN PLACE. THESE COMPONENTS TO BE REFINISHED IN PLACE.
- DISCONNECT AND REMOVE ALL POST CAPS, RAILING SECTIONS, FASTENERS, ETC. THAT ARE NOT DIRECTLY ATTACHED TO THE ROOF STRUCTURE. REFINISH INDIVIDUAL FENCE COMPONENTS.
- REASSEMBLE REFINISHED DECORATIVE FENCE TO MATCH EXISTING LAYOUT.

FENCE REFINISH:

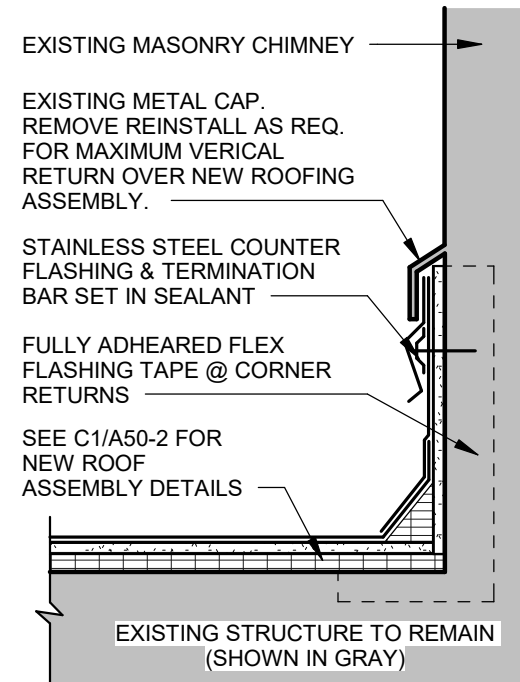
- REMOVE RUST AND EXISTING PAINT FINISH.
 - MANUAL REMOVAL REQUIRED FOR POSTS AND BRACING REMAINING ATTACHED TO ROOF
 - SAND BLAST OR MANUAL FOR REMOVED COMPONENTS
 - APPLY CHEMICAL RUST NEUTRALIZER
 - COMMERCIAL EXTERIOR GRADE RUST-INHIBITING PRIMER APPROPRIATE TO METAL TYPE
 - 2-COAT COMMERCIAL EXTERIOR GRADE RUST-INHIBITING FINISH PAINT. COLOR TO MATCH EXISTING PER OWNER APPROVAL



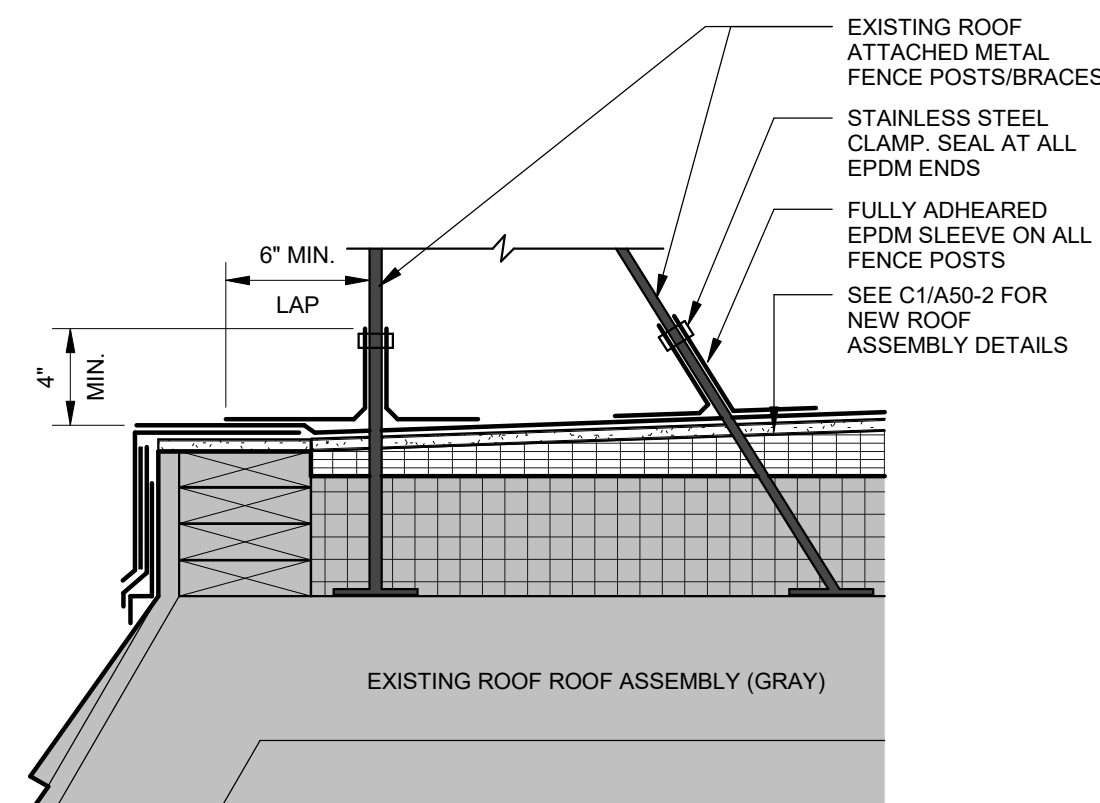
A2 EAST ROOF PLAN
SCALE: 1/8" = 1'-0"



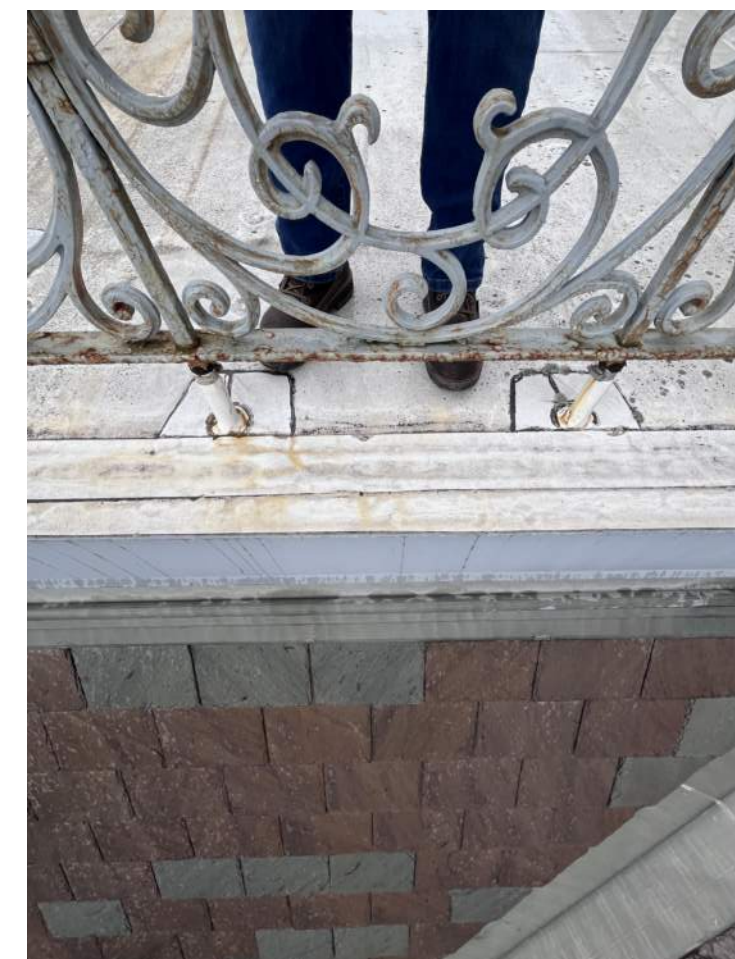
C1 COPING DETAIL
SCALE: 1 1/2" = 1'-0"



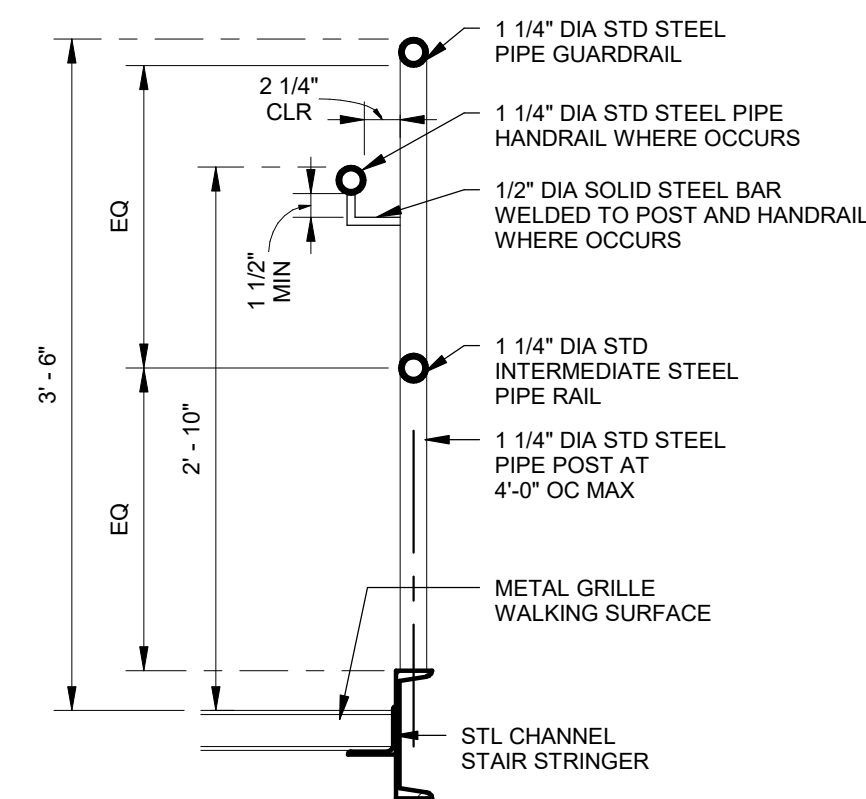
B1 CHIMNEY RETURN
SCALE: 1 1/2" = 1'-0"



A1 FENCE CONNECT DETAIL
SCALE: 1 1/2" = 1'-0"



NOTE:
1. WELD AND GRIND SMOOTH ALL JOINTS
2. FINISH TO MATCH SPECIFIC STAIR CONDITION AS NOTED

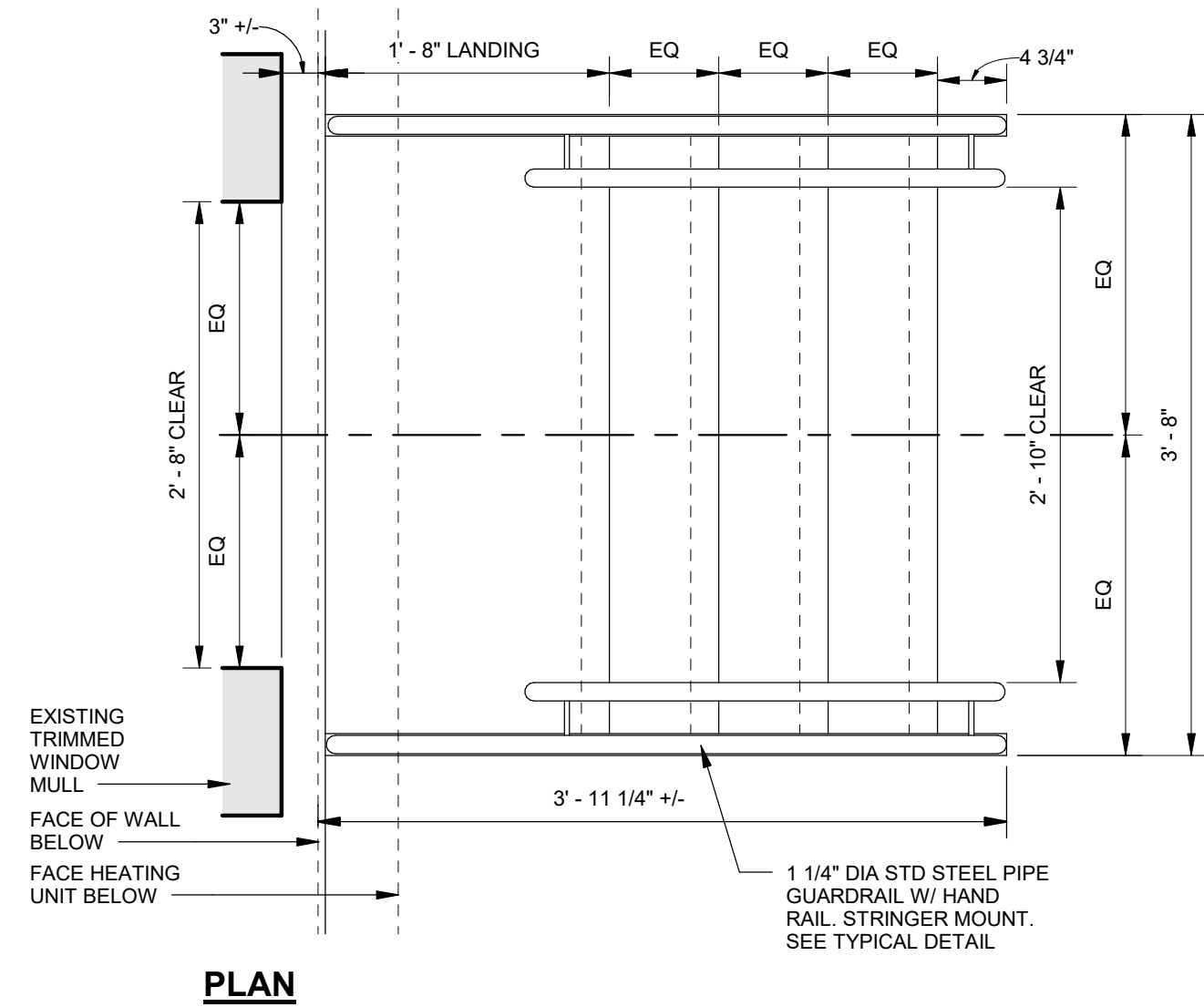


B1 TYPICAL GUARDRAIL
SCALE: 1" = 1'-0"

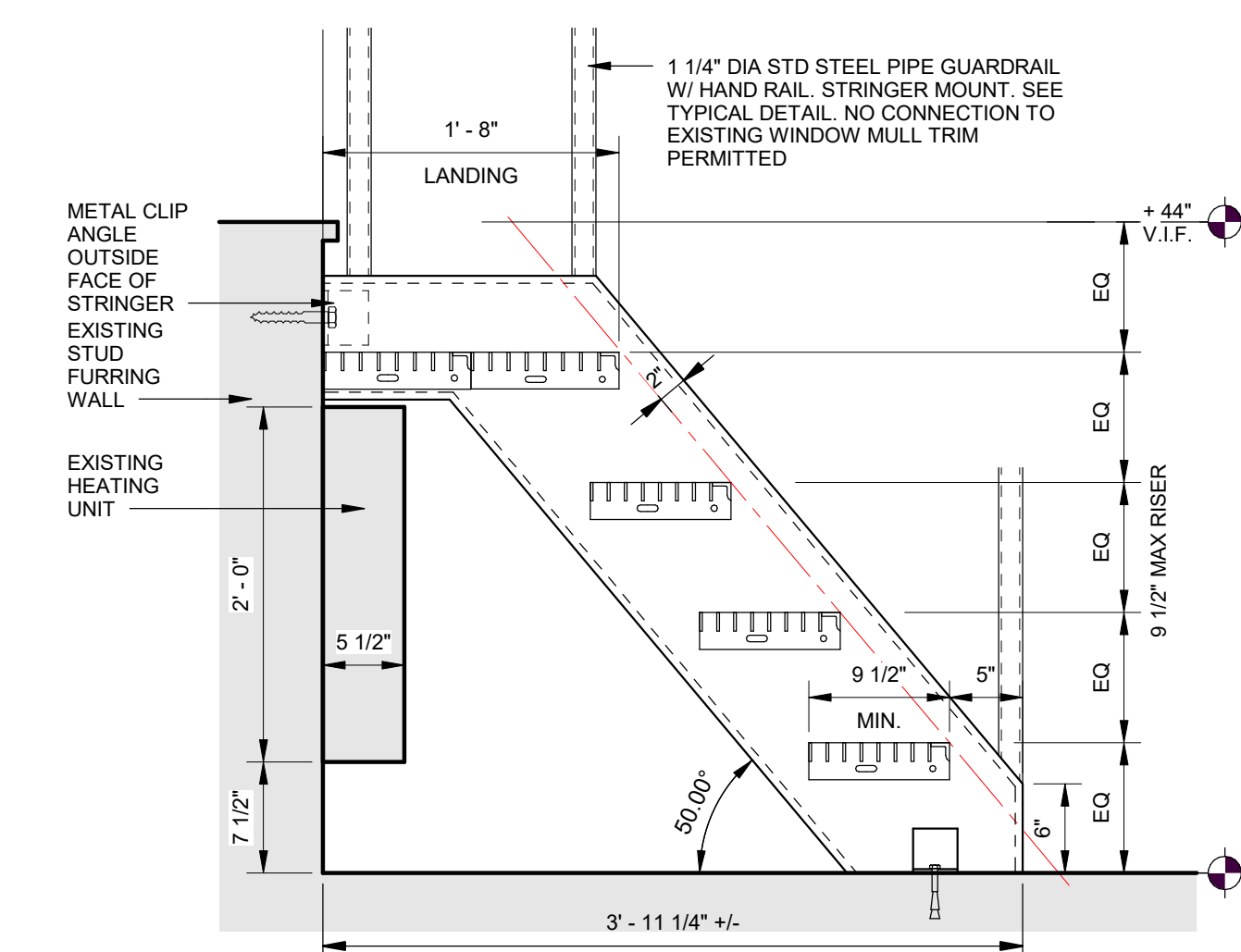
FABRICATED STAIRS GENERAL NOTES:

1. FABRICATED METAL SHIP LADDER TO MEET IBC 1011.15 AND OSHA 1910.25 REQUIREMENTS
2. FABRICATED METAL STAIRS TO MEET IBC CHAPTER 10 REQUIREMENTS
3. SUBCONTRACTED FABRICATOR TO VERIFY ALL EXISTING CONDITIONS DIMENSIONS IN THE FIELD PRIOR TO FABRICATION.
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL PRIOR TO FABRICATION.
5. SEE B1/A35-1 FOR TYPICAL HANDRAIL DETAILS
6. FINISH AS NOTED PER SPECIFIC STAIR CONDITION

NOTE:
1. REMOVE MINIMAL PORTION OF EXISTING FINISH FLOORING FOR FULL CONTACT ANCHOR CONNECTION AT LADDER STRINGER BASE.
2. PROVIDE SURFACE APPROPRIATE FASTENING HARDWARE.
3. PROVIDE BLOCKING AS REQUIRED.
4. FINISH TO BE FABRICATOR STANDARD 2-COAT SHOP PAINTED. CONTRACTOR TO PROVIDE MATCHING FINISH TOUCH-UP AFTER INSTALL AS REQUIRED. COLOR: DARK BRONZE



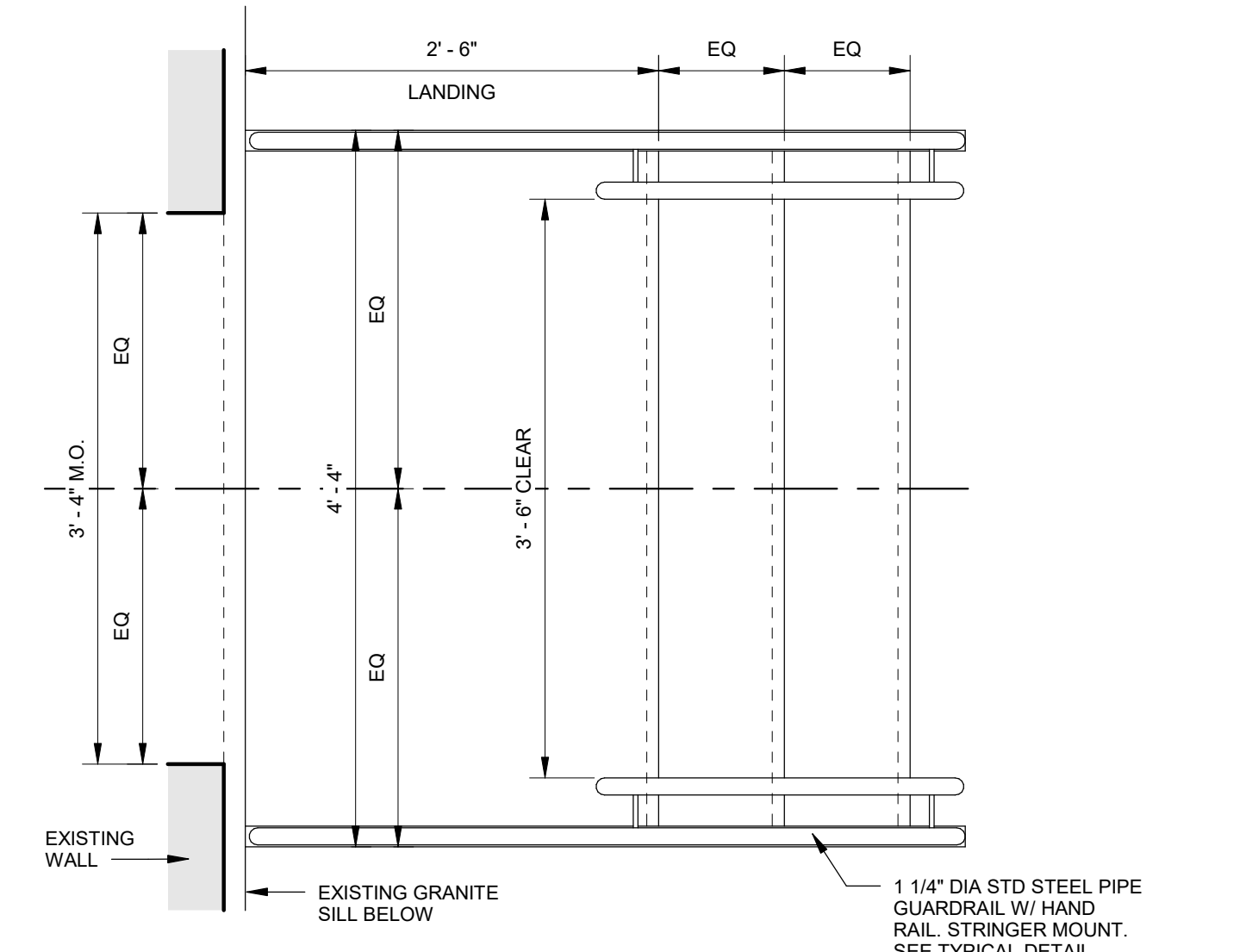
PLAN



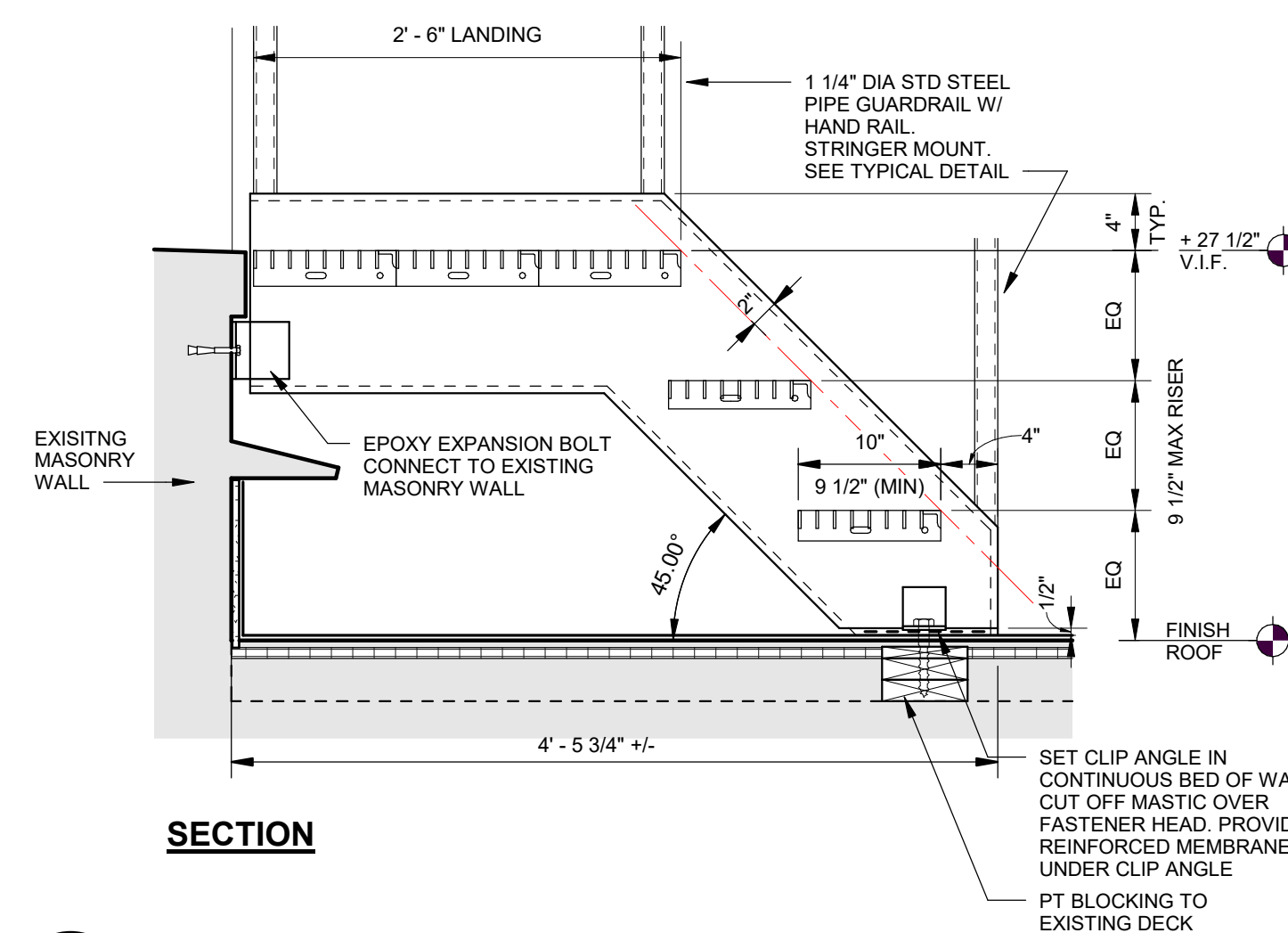
SECTION

A1 INTERIOR ROOF ACCESS SHIP LADDER
SCALE: 1" = 1'-0"

NOTE:
1. PROVIDE SURFACE APPROPRIATE FASTENING HARDWARE.
2. PROVIDE BLOCKING AS REQUIRED.
3. FINISH TO BE G60 GALVANIZED STEEL



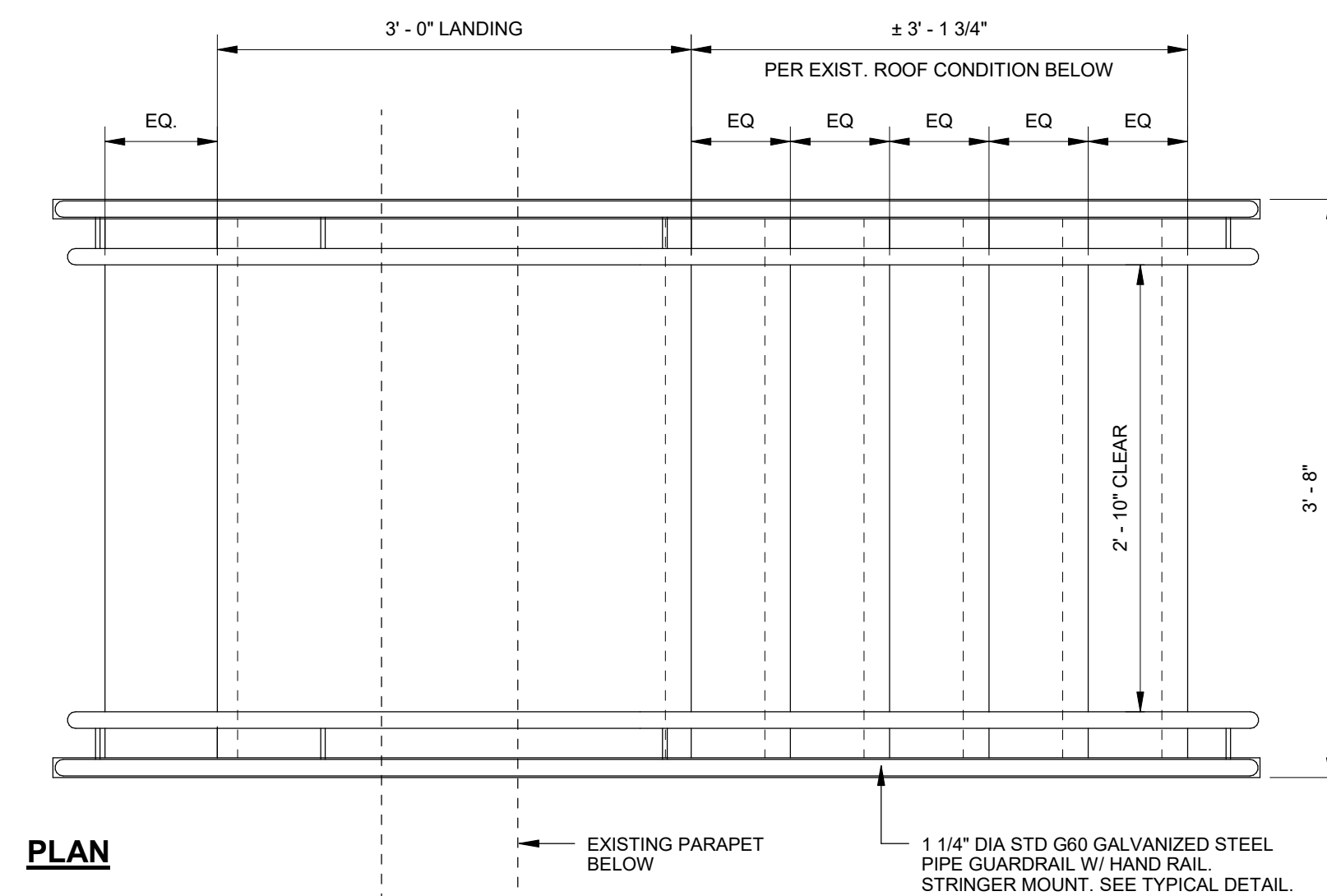
PLAN



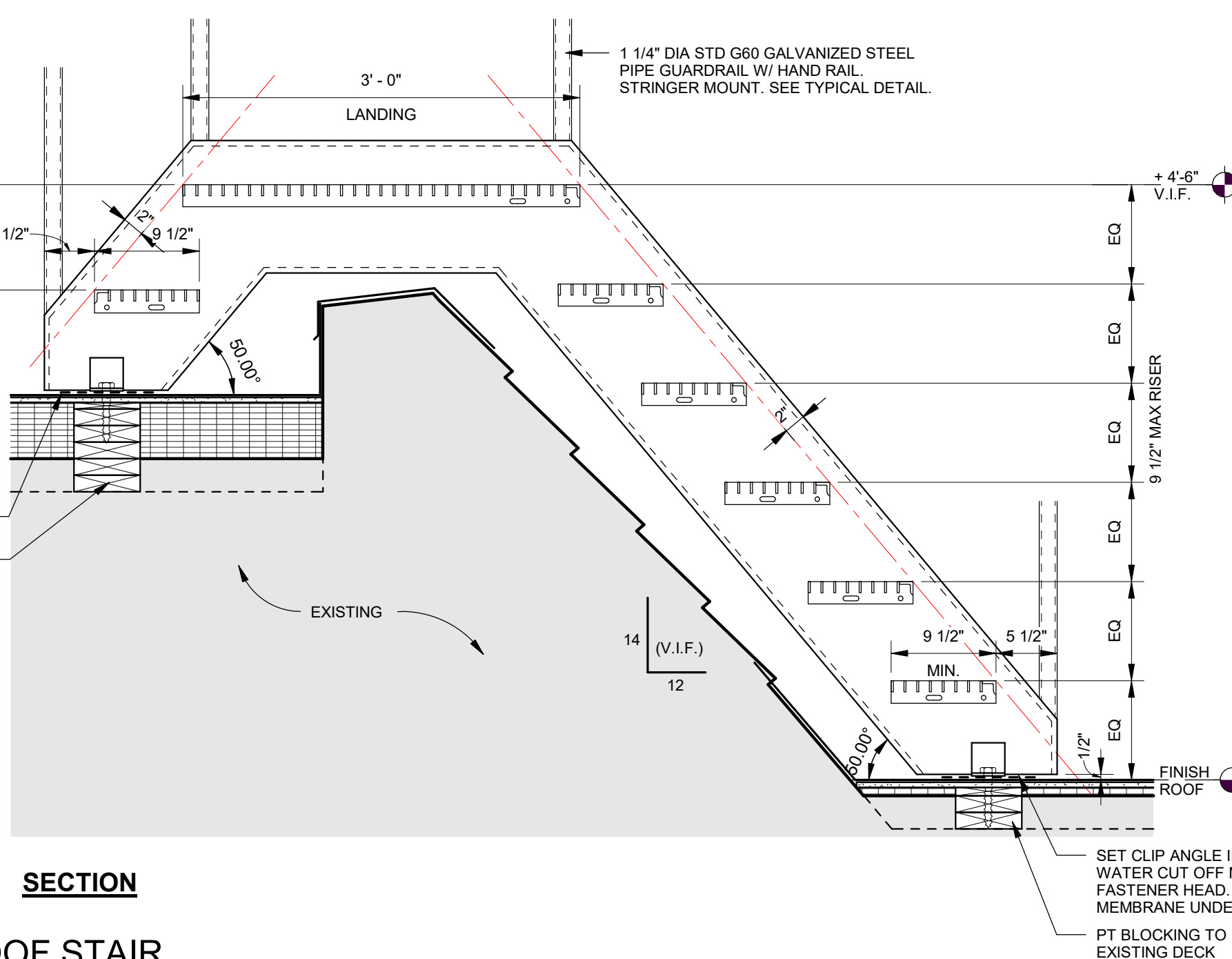
SECTION

A2 SILL TO LOW ROOF STAIR
SCALE: 1" = 1'-0"

NOTE:
1. PROVIDE SURFACE APPROPRIATE FASTENING HARDWARE.
2. PROVIDE BLOCKING AS REQUIRED.
3. FINISH TO BE G60 GALVANIZED STEEL

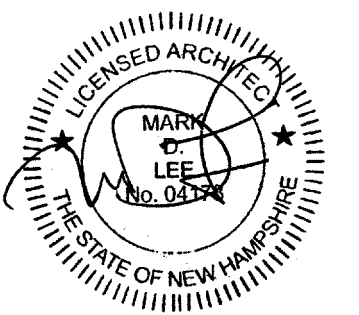


PLAN



SECTION

A3 LOW / HIGH ROOF STAIR
SCALE: 1" = 1'-0"



CONSTRUCTION DOCUMENTS

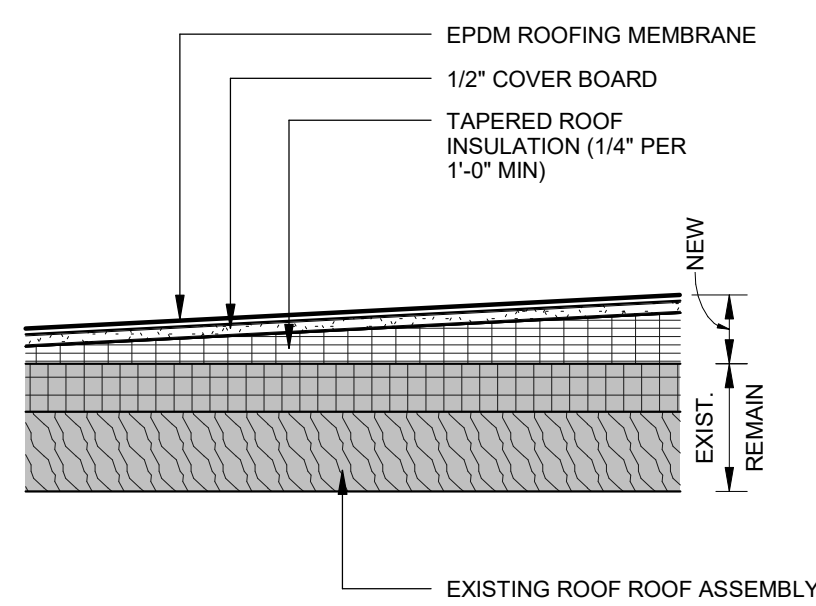
JUNE 6, 2024

Revision Date: 06-21-2024
Revision Description: ADDENDUM 1

Drawn by: KLS

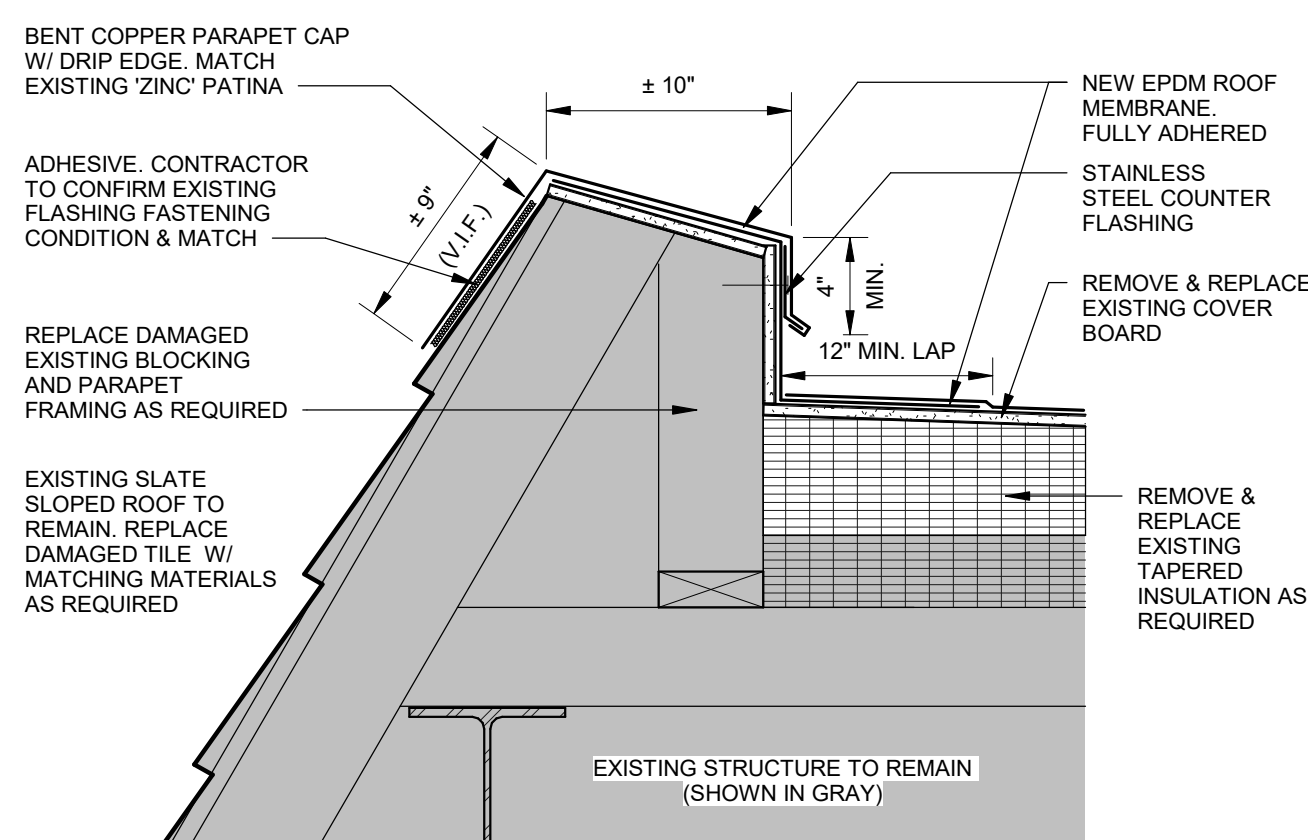
ROOF ACCESS STAIR DETAILS

- NOTE:**
 1. CRICKET INSULATION AT DRAINS IS AT 1/2" PER 1'-0"
 2. ALL PENETRATIONS THROUGH THE VAPOR RETARDER TO BE SEALED PER MANUFACTURER REQUIREMENTS

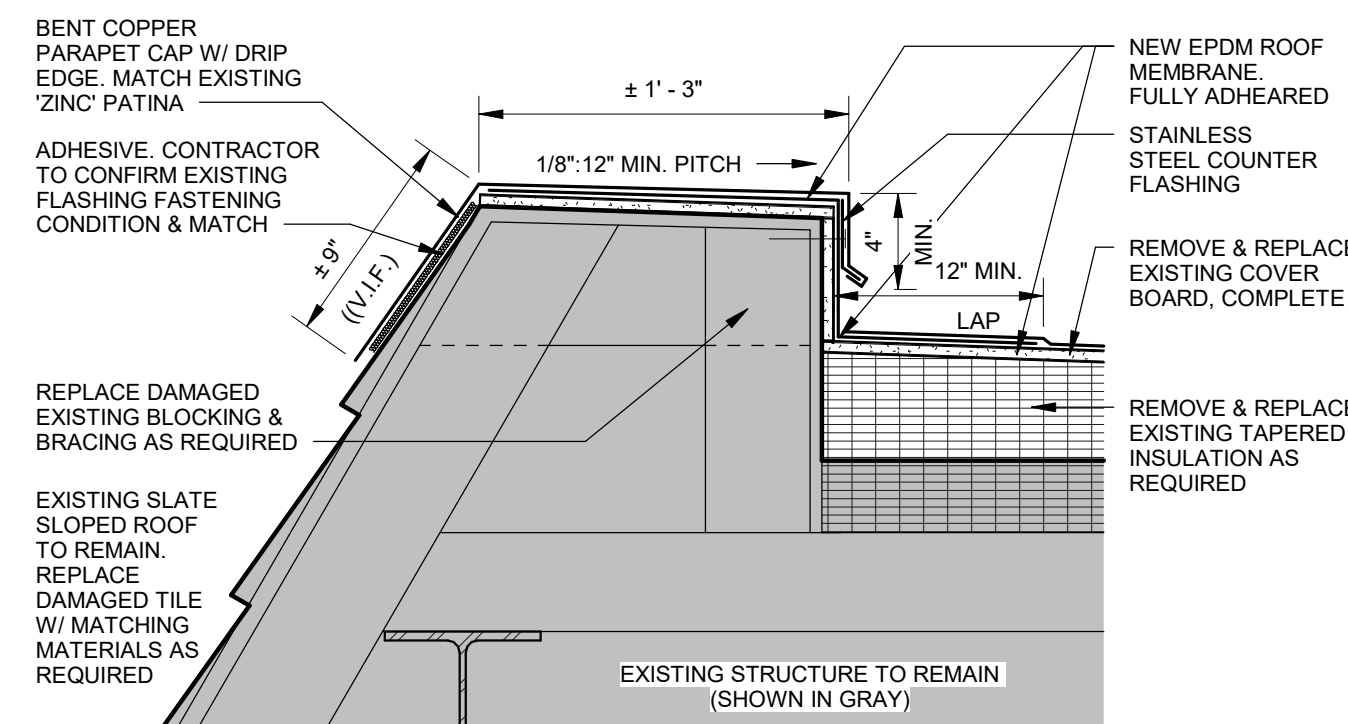


C1 TYPICAL FLAT ROOF ASSEMBLY
 SCALE: 1 1/2" = 1'-0"

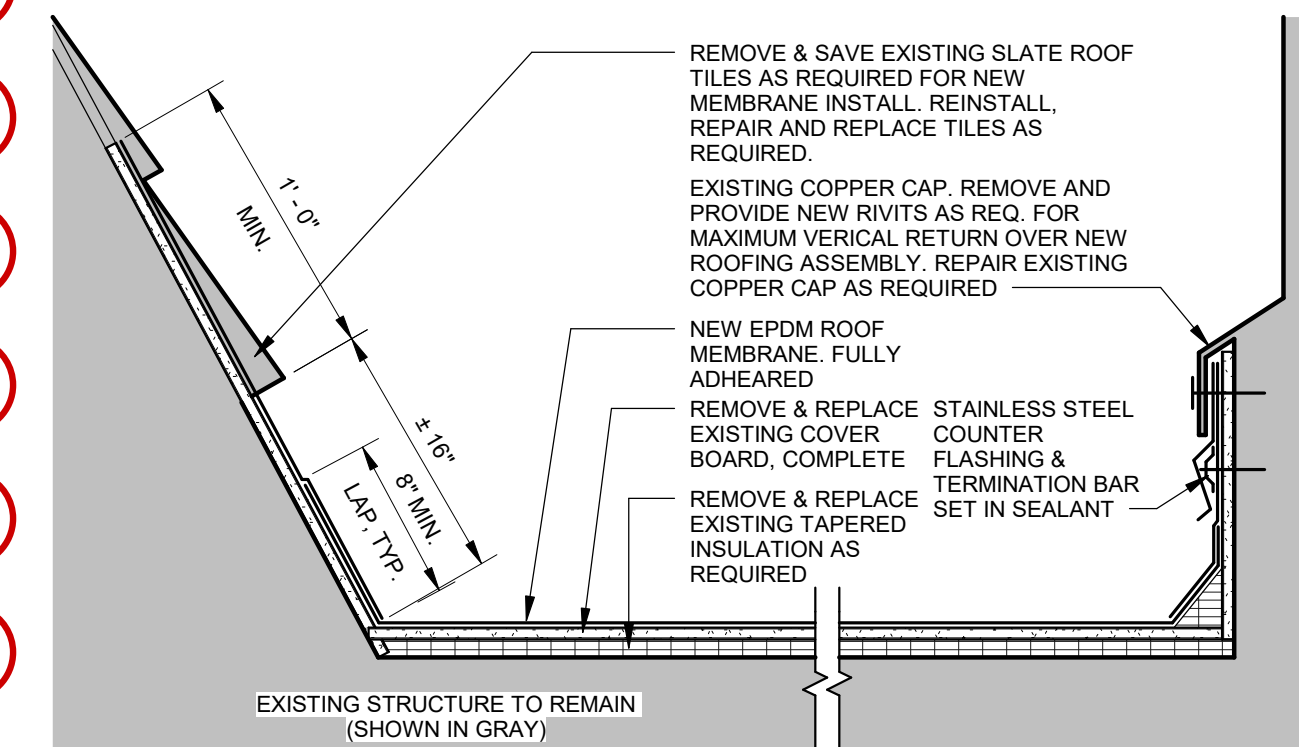
- NOTE:**
 EXISTING OUTER EDGE HEIGHT OF PARAPET TO BE MAINTAINED AND UNIFORM CONTINUOUS OF FULL LENGTH



B2 PARAPET DETAIL 1
 SCALE: 1 1/2" = 1'-0"

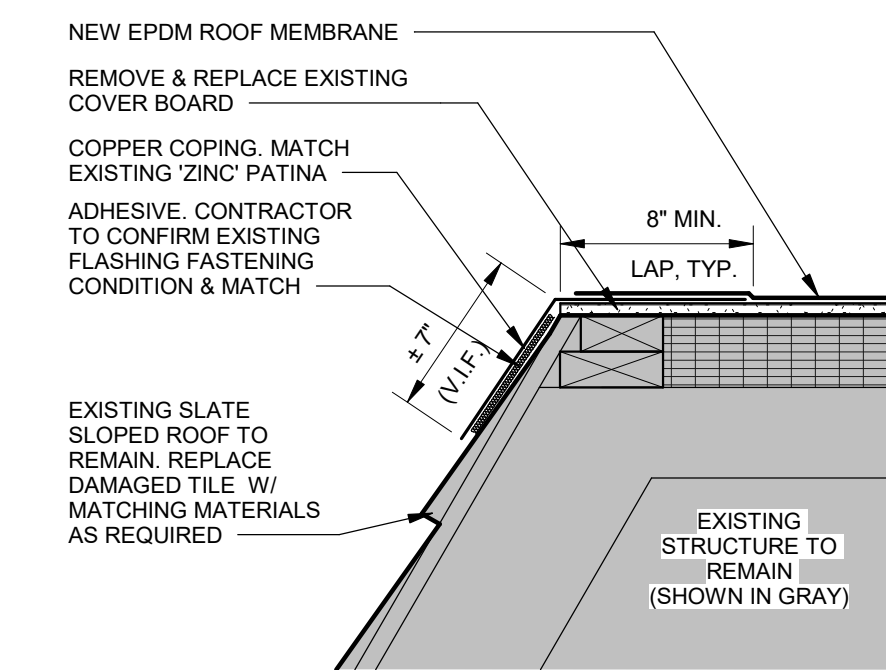


B3 PARAPET DETAIL 2
 SCALE: 1 1/2" = 1'-0"

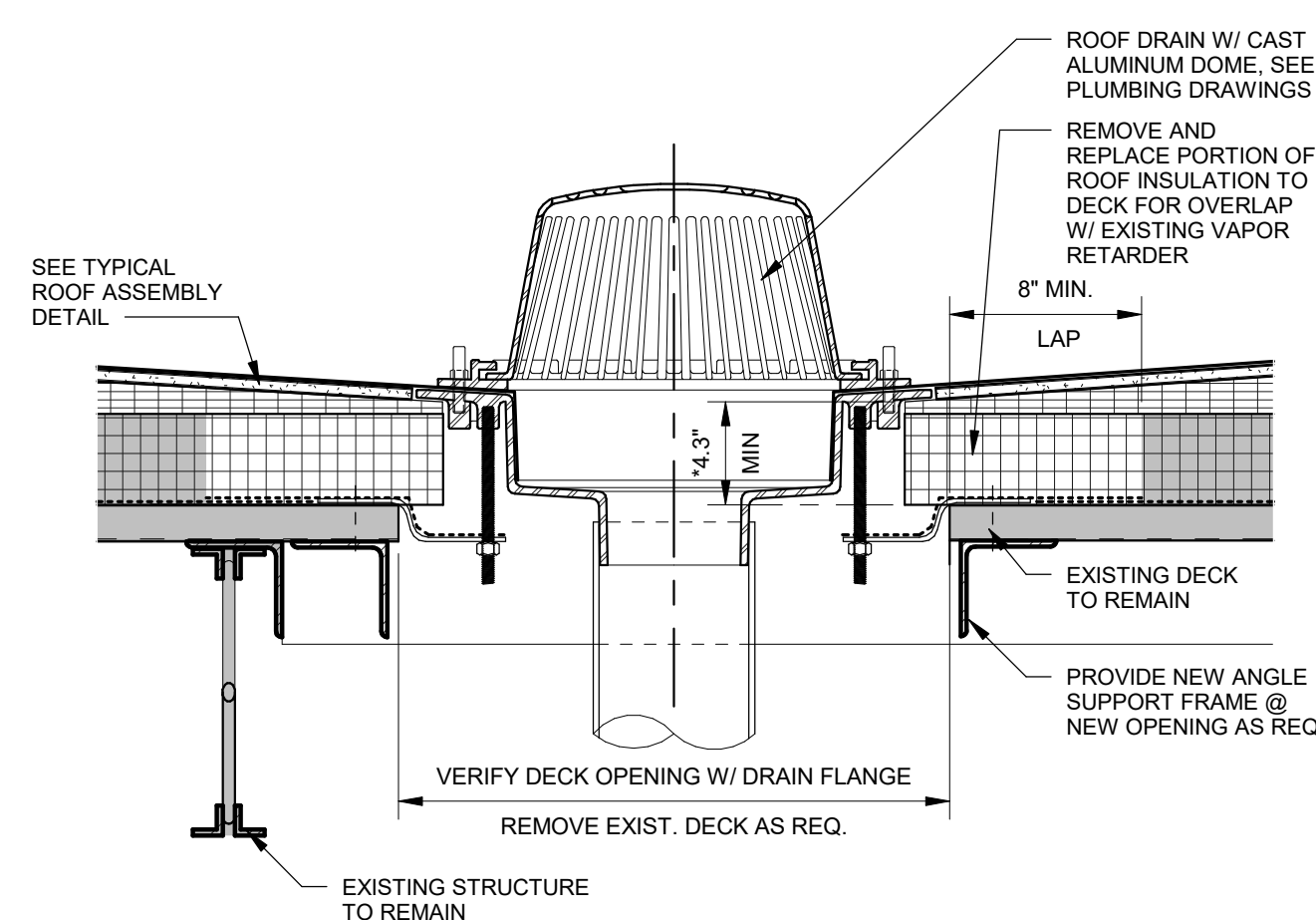


B4 VERTICAL RETURN
 SCALE: 1 1/2" = 1'-0"

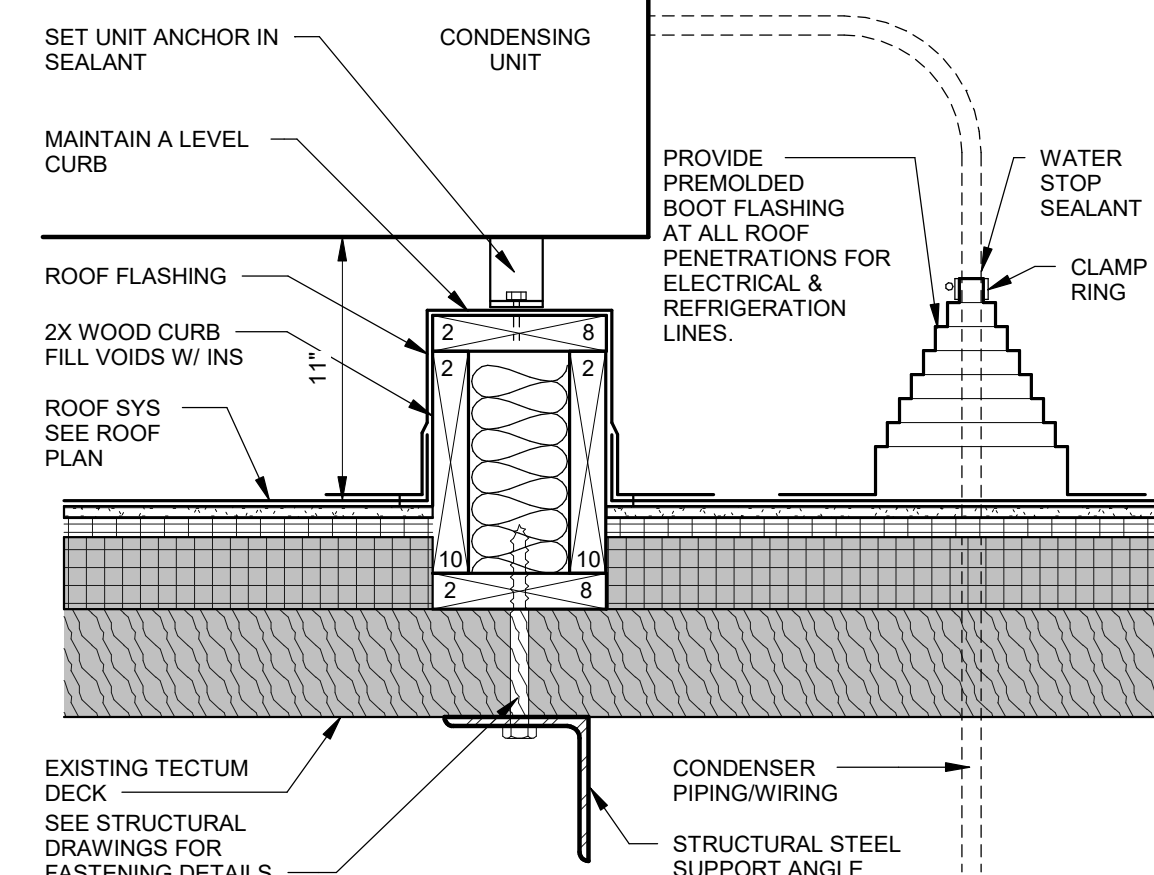
B1 COPING DETAIL
 SCALE: 1 1/2" = 1'-0"



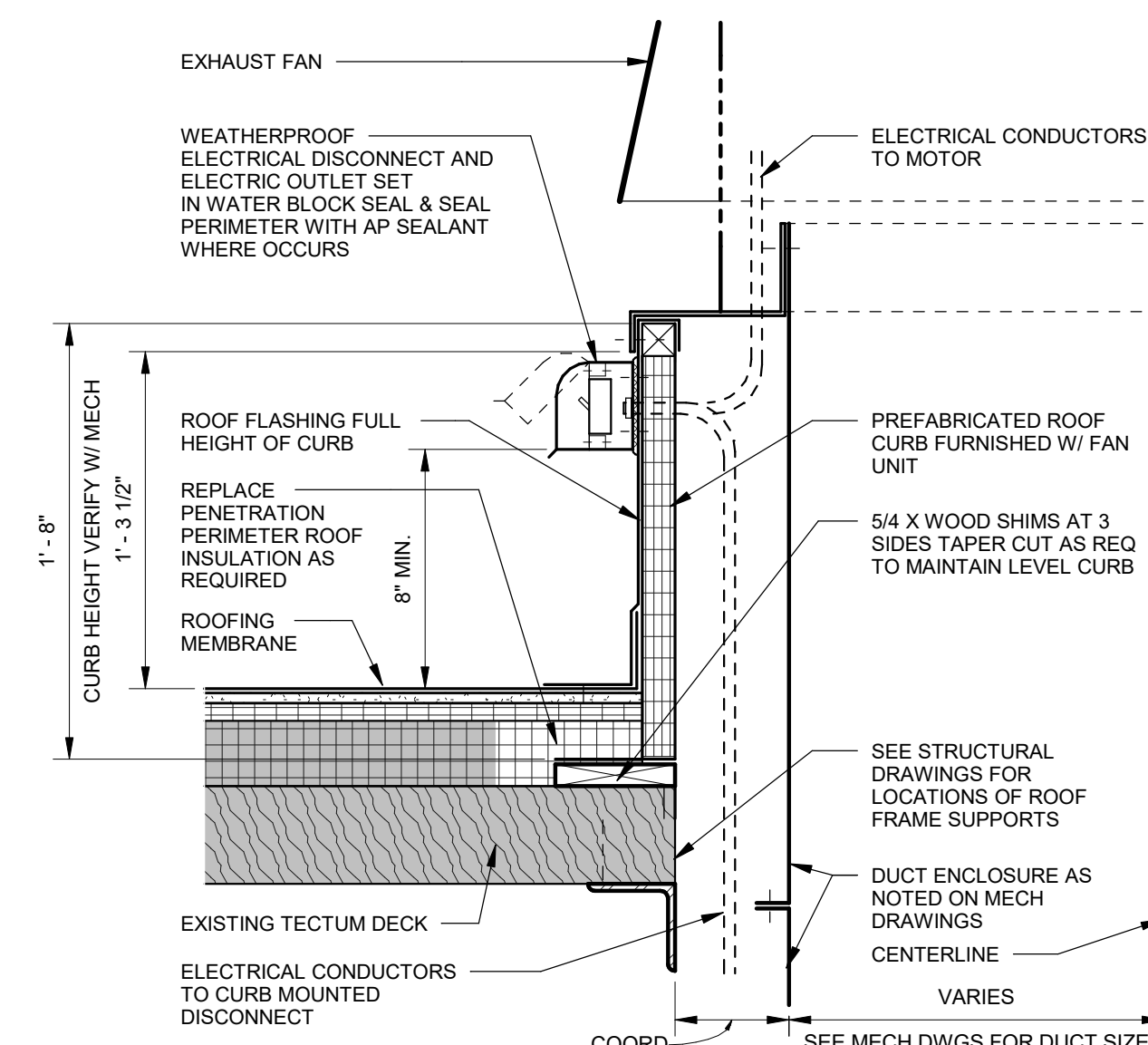
- NOTE:**
 1. FOLLOW STANDARD MANUFACTURERS INSTALLATION DETAILS
 2. COORDINATE PLACEMENT WITH EXISTING STRUCTURE BELOW.
 3. CRICKET INSULATION AT DRAINS IS AT 1/2" PER 1'-0"



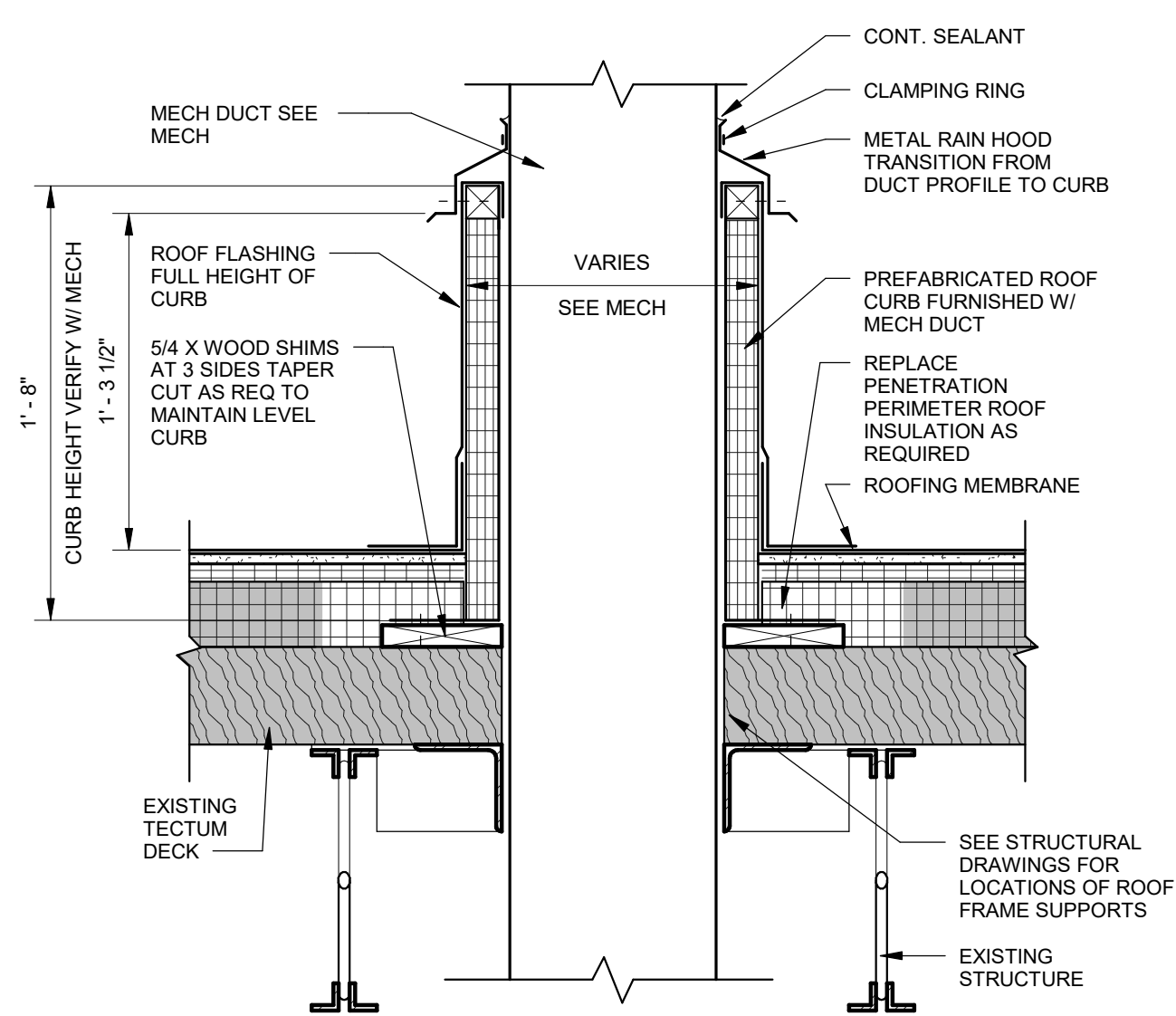
A1 TYPICAL ROOF DRAIN
 SCALE: 1 1/2" = 1'-0"



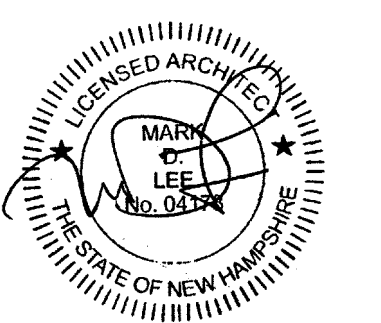
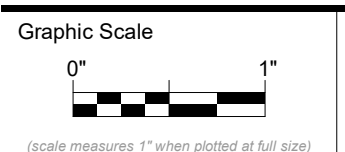
A2 CONDENSER SUPPORT DETAIL
 SCALE: 1 1/2" = 1'-0"



A3 TYP EXHAUST FAN ROOF CURB
 SCALE: 1 1/2" = 1'-0"



A4 TYPICAL MECH DUCT PENETRATION DETAIL
 SCALE: 1 1/2" = 1'-0"



CONSTRUCTION DOCUMENTS

JUNE 6, 2024
 Revision Date Revision Description
 06-21-2024 ADDENDUM 1

Drawn by: KLS

ROOF DETAILS